

P R O P O S E D

# RESIDENTIAL CARE FACILITY

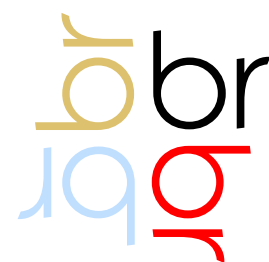
11-19 Frenchmans Road, Randwick, NSW

Drawing List

DWG. No.	Drawing Title	Scale	Size
DA00	- Cover Page	NTS	A1
DA01	- Site Plan	1:200	A1
DA02	- Site Analysis	1:200	A1
DA02a	- Site Anayis - Locality Plan	NTS	A1
DA03	- Lower Basement Floor Plan	1:200	A1
DA04	- Basement Floor Plan	1:200	A1
DA05	- Ground Floor Plan	1:200	A1
DA06	- First Floor Plan	1:200	A1
DA07	- Second Floor Plan	1:200	A1
DA08	- Third Floor Plan	1:200	A1
DA09	- Roof Plan	1:200	A1
DA10	- Sections (A,B & C)	1:200	A1
DA11	- Sections (D, E, F & G)	1:200	A1
DA12	- Section H & Elevations (South & West Boundary)	1:200	A1
DA13	- Elevations (North, East, South & West)	1:200	A1
DA14	- Street Elevations Proposed	1:200	A1
DA15	- Street Elevation @ Frenchmans Road - Photomontage	NTS	A1
DA16	- Street Elevation @ McLennan Avenue - Photomontage	NTS	A1
DA17	- Shadow Diagrams Existing & Proposed (21 June 8am. & 12 pm.)	1:500	A1
DA17a	- Shadow Diagrams Existing & Proposed (21 June 9am. & 3 pm.)	1:500	A1
DA18	- Shadow diagrams Existing & Proposed (21 June 4 pm.)	1:500	A1
DA18a	- 3D Image Showing Built form penetrating 12m Height	NTS	A1
DA19	- Solar Access Diagrams	NTS	A1
DA20	- Gross Floor Area Diagram - Ground Floor Plan	1:200	A1
DA21	- Gross Floor Area Diagram - First Floor Plan	1:200	A1
DA22	- Gross Floor Area Diagram - Second Floor Plan	1:200	A1
DA23	- Gross Floor Area Diagram - Third Floor Plan	1:200	A1
DA24	- Demolition Plan	1:200	A1



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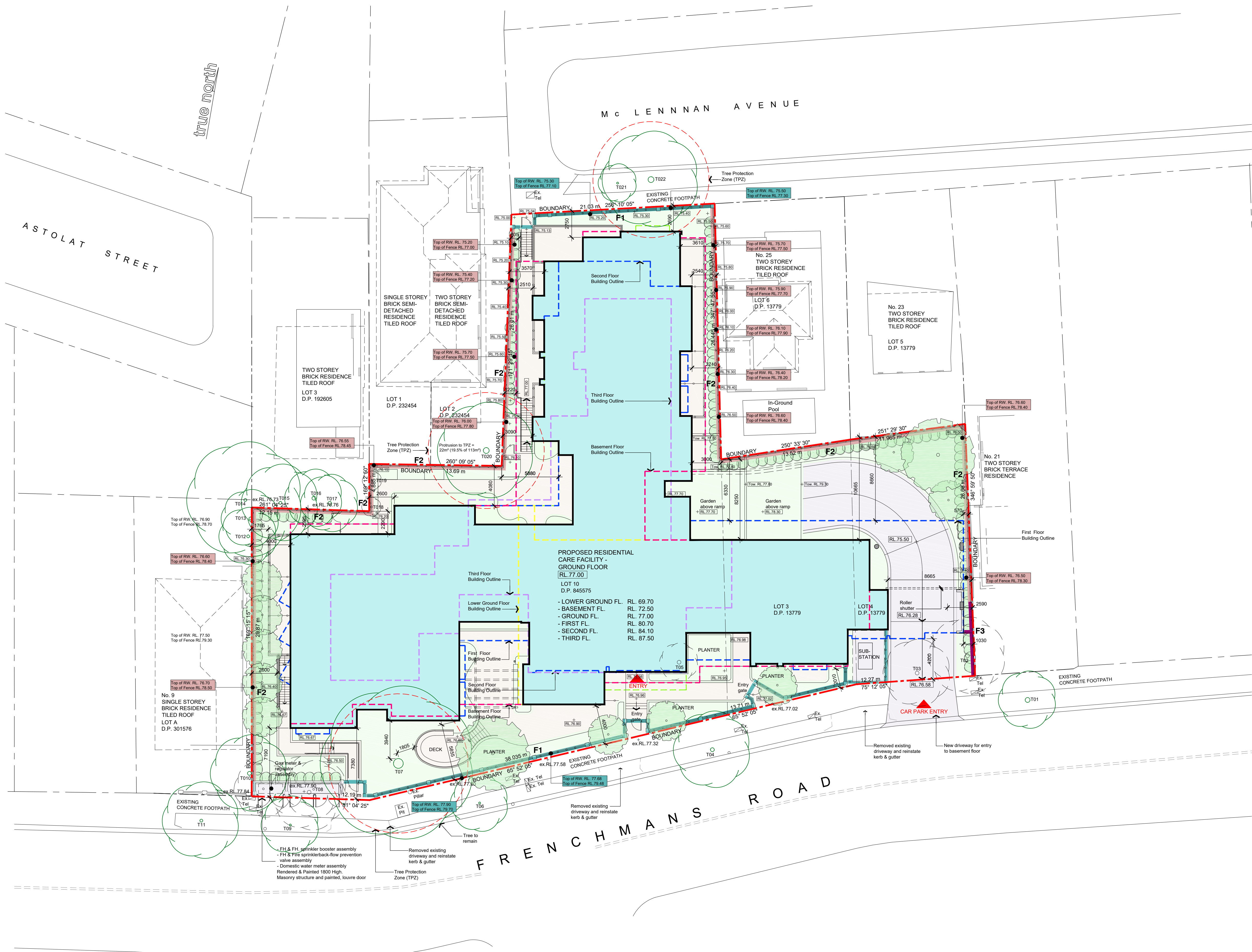


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PRELIMINARY DA ISSUE  
30.09. 2020

2017 DA00





DEVELOPMENT STATISTIC		
SITE AREA	2,709.7 m <sup>2</sup>	
	BCA FLOOR AREA	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	521.6 m <sup>2</sup>	-
BASEMENT.FL.	1,557.2 m <sup>2</sup>	-
GROUND FL.	1,340.2 m <sup>2</sup>	905.8 m <sup>2</sup>
FIRST FL.	1,393.4 m <sup>2</sup>	1,278.9 m <sup>2</sup>
SECOND FL.	1,338.6 m <sup>2</sup>	1,231.0 m <sup>2</sup>
THIRD FL.	391.0 m <sup>2</sup>	369.6 m <sup>2</sup>
TOTAL	6,541.9 m <sup>2</sup>	3,785.2 m <sup>2</sup>
FSR	1.397 : 1	
CARPARKING / AMBULANCE	19+1= 20 spaces	
LANDSCAPE AREA	1,130.3 m <sup>2</sup>	
LANDSCAPE AREA PER BED	13.14 m <sup>2</sup>	

RESIDENT ACCOMMODATION			
	1 BED	2 BED	TOTAL
GROUND FL.	17	0	17
FIRST FL.	24	4 x 2	32
SECOND FL.	22	4 x 2	30
THIRD FL.	7	0	7
TOTAL NUMBER OF THIRD FL. ILUs	= 2		
TOTAL NUMBER OF BEDS	= 86		
TOTAL NUMBER OF ROOMS	78 + 2 = 80		

LEGEND

- PROPOSED RCF
- BOUNDARY
- SOFT LANDSCAPE
- HARD LANDSCAPE
- FENCE TYPE 1
- FENCE TYPE 2
- + ex RL.76.80 EXISTING LEVEL RL.
- + [RL.76.80] NEW FINISHED LEVEL RL.
- + [TOW RL.] PROPOSED TOP OF WALL LEVEL
- LOWER GROUND FLOOR
- BASEMENT FLOOR
- FIRST FLOOR
- SECOND FLOOR
- THIRD FLOOR
- PROPOSED ROADS AND DRIVEWAYS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED

F1

1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH + EXISTING FENCE

F2

1800H COLORBOND STEEL FENCING & RETAINING WALL + EXISTING FENCE

F3

1800H COLORBOND STEEL FENCING + EXISTING FENCE

NOTE:

- ALL EXISTING FENCING EXCEPT FOR FRENCHMANS ROAD AND McLENNAN AVENUE BOUNDARIES TO REMAIN. NEW FENCING TO BE BUILT INSIDE THE BOUNDARY ADJACENT

5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	11.08.2020
1	Development application issue	19.12.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE PLAN



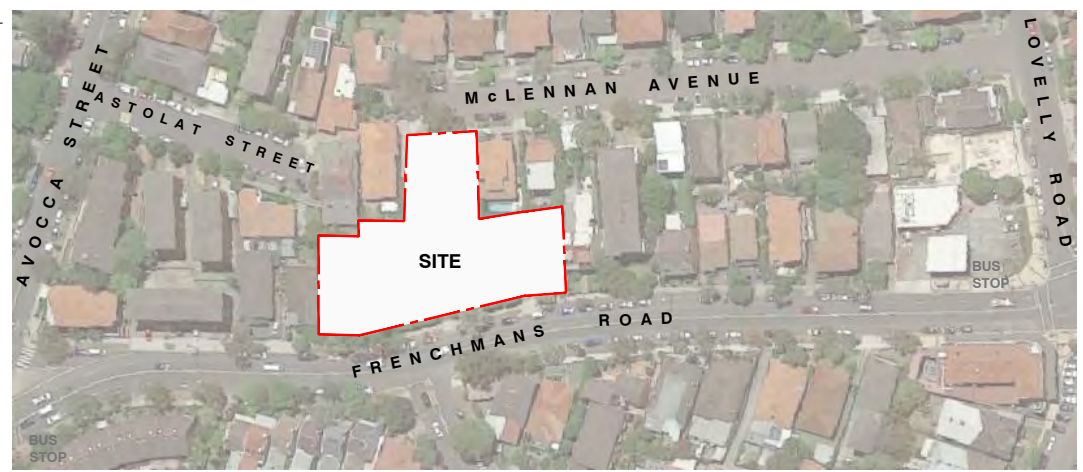
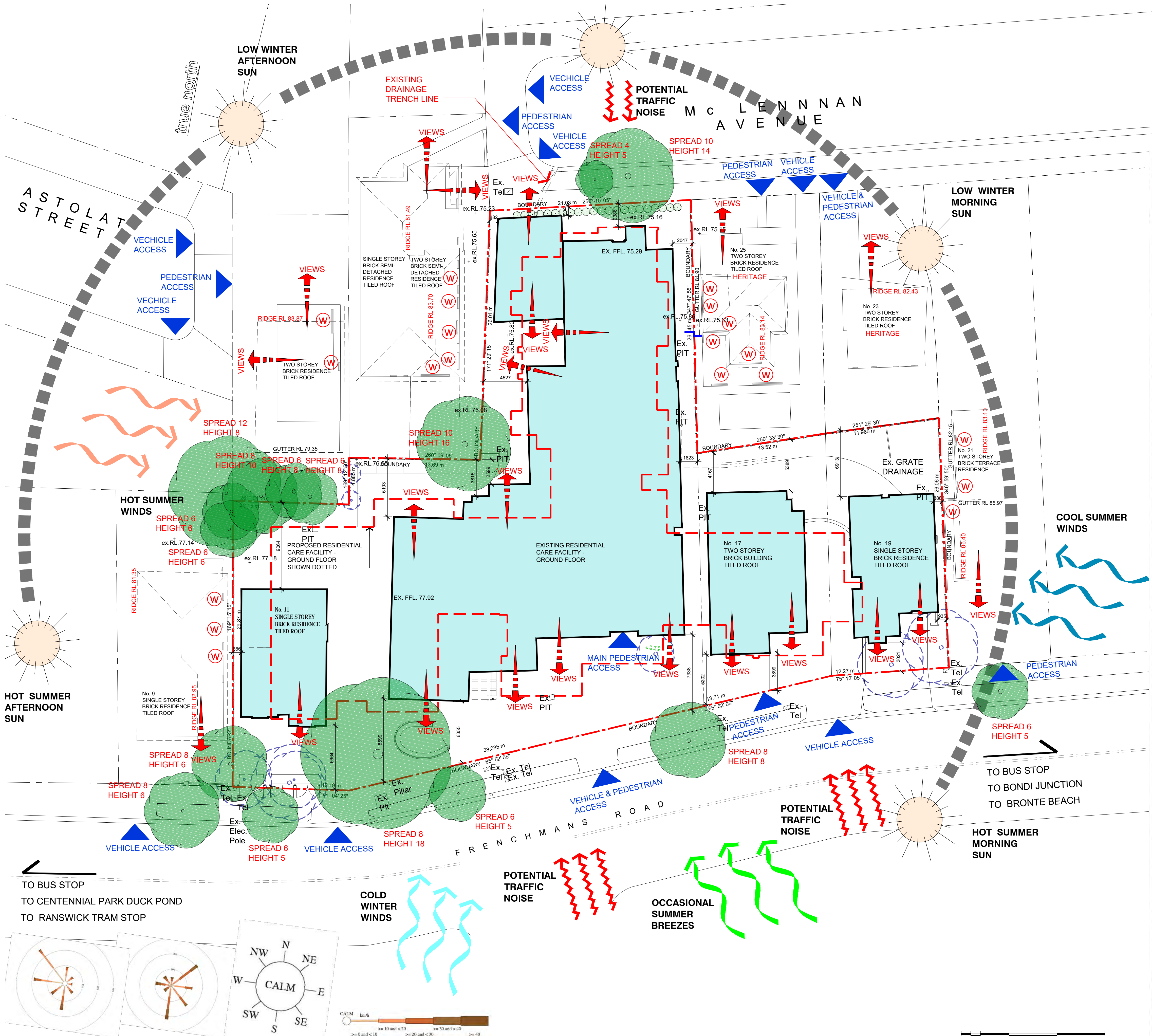
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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		
Amendment	5		
		1912/	DA01







LOCALITY PLAN  
NOT TO SCALE

SEPP PART 3 - DESIGN REQUIREMENTS	REFER TO
Division 1 General	
39. Site analysis	
1. A consent authority must not consent to a development application made pursuant to this Chapter unless the consent authority is satisfied that the applicant has taken into account a site analysis prepared by the applicant in accordance with this clause.	This drawing
2. A site analysis must:	Please refer below
A. Contain information about the site and its surrounds as described in subclauses (3) and (4), and	Design Statement
B. Be accompanied by a written statement (supported by plans including drawings of sections and elevations and, in the case of proposed development on land adjoining land zoned primarily for urban purposes, an aerial photograph of the site):	Design Statement
i. Explaining how the design of the proposed development has regard to the site analysis, and	Design Statement
ii. Explaining how the design of the proposed development has regard to the design principles set out in Division 2.	Design Statement
3. The following information about a site is to be identified in a site analysis:	
A. Site dimensions:	
• Length	Survey Plans
• Width	Survey Plans
B. Topography:	
• spot levels and/or contour	Survey Plans
• north point	All Plans
• natural drainage	Civil Drawings
• any contaminated soils or filled areas	Site Investigation Report
C. Services:	
• easements	N/A
• connections for drainage and utility services	Civil Drawings
D. Existing vegetation:	
• location	Survey Plans
• height	Survey Plans
• spread of established trees	Survey Plans
• species	Arborist Report
E. Micro climates:	
• orientation	This drawing
• prevailing winds	This drawing
F. Location of:	
• buildings and other structures	This drawing and DA01 - Site Plan
• heritage features and items including archaeology	This drawing, DA01 - Site Plan & DA05 - Ground Floor Plan
• fences	All plans
• property boundaries	All plans
• pedestrian and vehicle access	This drawing
G. Views to and from the site	DA15 / DA16 - Street elevation & Perspectives DA17/DA18 - Shadow Diagrams
H. Overshadowing by neighbouring structures	
4. The following information about the surrounds of a site is to be identified in a site analysis:	
A. Neighbouring buildings:	
• location	Survey Plans
• height	Survey Plans
• use	Survey Plans
• balconies on adjacent properties	Survey Plans
• pedestrian and vehicle access to adjacent properties	Survey Plans
B. Privacy:	
• adjoining private open spaces	Survey Plans
• living room windows overlooking site	Survey Plans
• location of any facing doors and/or windows	Survey Plans
C. Walls built to the site's boundary:	
• location	DA01 - Site Plan
• height	DA01 - Site Plan
• materials	DA01 - Site Plan
D. Difference in levels between the site and adjacent properties at their boundaries	Survey Plans
E. Views and solar access enjoyed by neighbouring properties	This drawing
F. Major trees on adjacent properties	Survey Plans
G. Street frontage features:	
• poles	Survey Plans
• trees	Survey Plans
• kerb crossovers	Survey Plans
• bus stops	Survey Plans
• other services	Survey Plans
H. The built form and character of adjacent development (including buildings opposite on both sides of the street(s) fronted):	
• architectural character	All plans This drawing, DA01 - Site Plan, DA05 - Ground Floor Plan & DA14 - Street Elevations Proposed
• front fencing	Landscaping
• garden styles	Landscaping
I. Heritage features of surrounding locality and landscape	Heritage Report
J. Direction and distance to local facilities:	
• local shops	DA02a - Site Analysis Locality Plan
• schools	DA02a - Site Analysis Locality Plan
• public transport	DA02a - Site Analysis Locality Plan
• recreation and community facilities	DA02a - Site Analysis Locality Plan
K. Public open space:	
• location	DA02a - Site Analysis Locality Plan
• use	DA02a - Site Analysis Locality Plan
L. Adjoining bushland or environmentally sensitive land	N/A
M. Sources of nuisance:	
• flight paths	N/A
• noisy roads or significant noise sources	This drawing, DA02a - Site Analysis Locality Plan
• polluting operations	N/A

LEGEND	
	OUTLINE OF EXISTING SUMMITCARE BUILDING G/F
	OUTLINE OF PROPOSED SUMMITCARE BUILDING G/F
	BOUNDARY
	VIEWS
	PEDESTRIAN OR VEHICLE ACCESS
	EXISTING TREES TO REMAIN
	EXISTING TREES TO BE DEMOLISHED
	PROPOSE 1800H FENCE AND LANDSCAPE SCREENING FOR PRIVACY SCREENING REFER TO LANDSCAPE DOCUMENTS FOR DETAIL
	OCCASIONAL SUMMER BREEZES
	COOL SUMMER WINDS
	HOT SUMMER WINDS
	COLD WINTER WINDS
	TRAFFIC NOISE
	WINDOW OF NEIGHBOURING BUILDINGS

NOTES:

1. REFER TO SURVEY DWGS FOR NEIGHBOURING PROPERTIES' WINDOWS' SILL AND HEAD HEIGHTS.

2. PLANT SPECIES REFER TO ARBORIST REPORT

3. REFER TO DA01 - SITE PLAN FOR FENCING TYPES, RETAINING WALLS LOCATION, HEIGHT AND DETAILS



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No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SITE ANALYSIS

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Date: JULY 2019  
Scale: AS SHOWN  
Amendment: 5

Job No.: 1912 / DA02  
Drawing: 1912 / DA02



[illegible]

An aerial photograph of a residential area. A white rectangular area with a red border is labeled "SITE". The site is located at the intersection of Frenchmans Road and Astolat Street. Other streets visible include Avocca Street, McLennan Avenue, and Clovelly Road. A bus stop is marked on Frenchmans Road near the intersection with Clovelly Road.

	Date	JULY 2019	Job No. : Drawing  1912 / DA02a
	Scale	AS SHOWN	
	Drawn	SS	
	Amendment	3	



## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

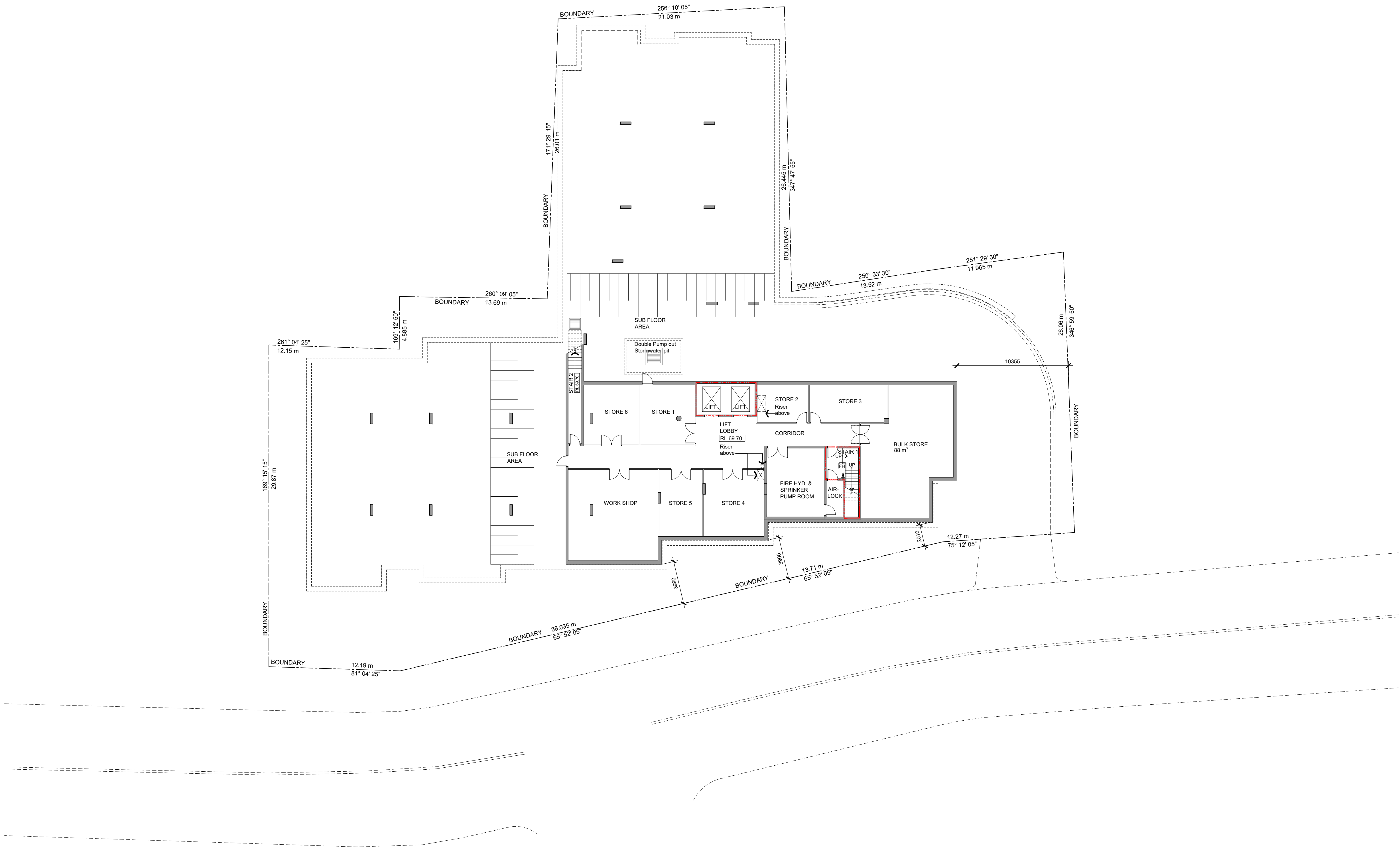
## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m²K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



11	Preliminary DA Issue	30.09.2020
10	Development Application Issue	07.09.2020
9	Development Application Issue for review	14.08.2020
8	Development Application Issue for review	11.08.2020
7	Preliminary Issue discussion	27.07.2020
6	Preliminary Issue for coordination	08.07.2020
5	Preliminary Issue for review & comment	06.07.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
LOWER BASEMENT FLOOR PLAN



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**br**  
1990

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0m 2 5 10 15m  
SCALE: 1: 200 @ A1  
SCALE: 1: 400 @ A3

	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	1912 /	DA03
	Amendment	11		



## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

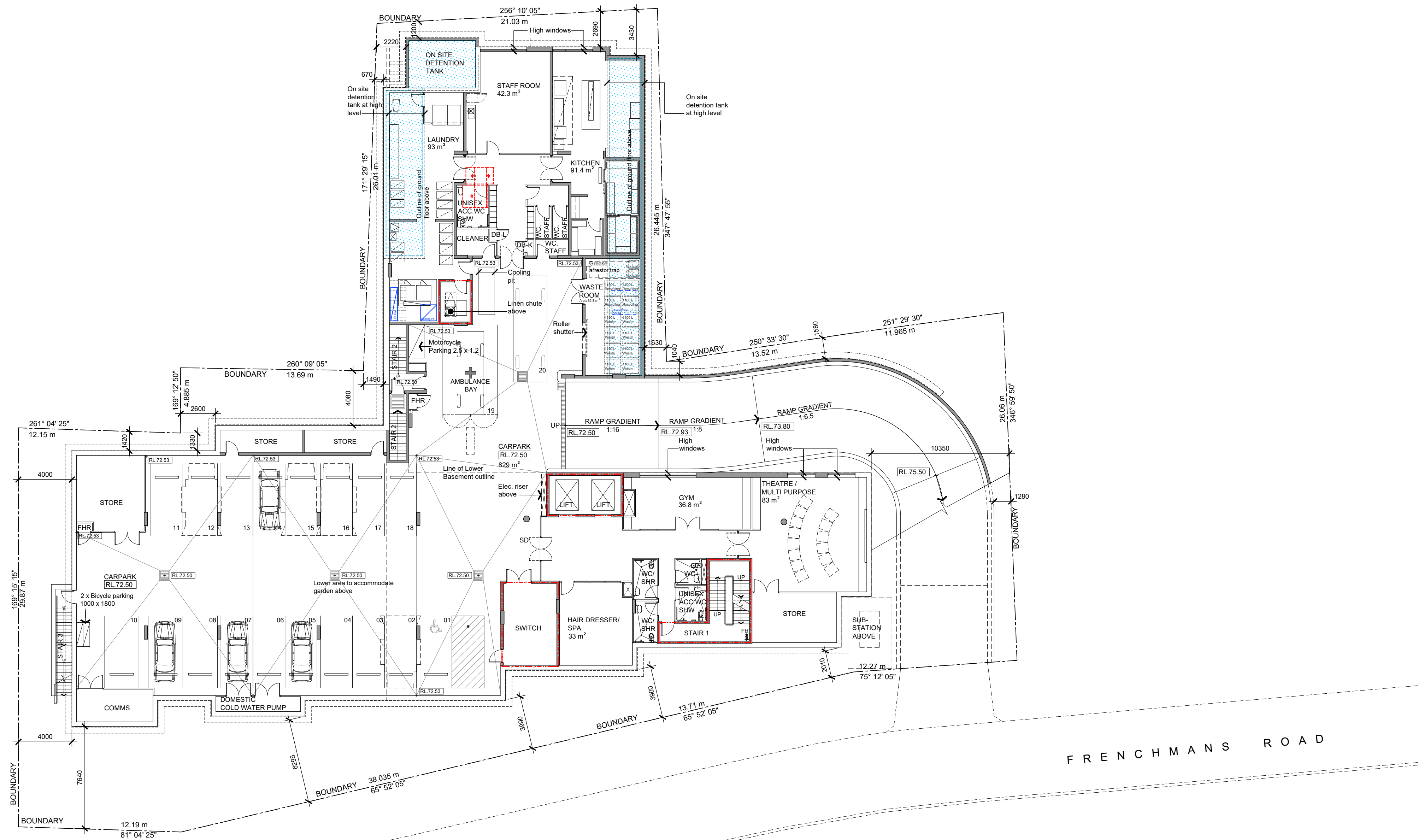
## ACOUSTIC REQUIREMENTS

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	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m²K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



13	Preliminary DA Issue	30.09.2020
12	Development Application Issue	07.09.2020
11	Development Application Issue for review	14.08.2020
10	Development Application Issue for review	13.08.2020
9	Development Application Issue for review	11.08.2020
8	Preliminary Issue discussion	27.07.2020
7	Preliminary Issue for coordination	08.07.2020
6	Preliminary Issue for review & comment	06.07.2020
5	building outline modified following changes on the upper level	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
BASEMENT FLOOR PLAN



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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS / WW	2017 /	DA04
	Amendment	13		





## LEGEND

---	BOUNDARY
=====	MASONRY WALL
=====	STUD WALL
=====	OUTLINE OF WALL ABOVE / BELOW
-----	ROOF OUTLINE
-----	NEW FENCE
+ ex RL 00.00	EXISTING LEVELS
RL 00.00	PROPOSED LEVELS
U	PROPOSED DOOR
W	PROPOSED WINDOW
MB	MOBILE BATH
CF	CEILING FAN
ET	ELEVATION TAG
ST	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

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Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
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## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m²K/W)		
J1.3	Roof and ceiling construction	≥ 3.70		
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J1.5a	Total System external wall construction (all facades)	≥ 2.39		
J1.5b	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00		
J1.6a	Floor construction (above an unconditioned zone)	≥ 2.00		
J1.6b	Floor construction (concrete slab on ground)	No insulation required		
Glazing - Frame Construction (Uniform solution)		Orientation	Total System SHGC	Total System SHGC
J1.5c	Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

14	Preliminary DA Issue	30.09.2020
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11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick  
Drawing  
GROUND FLOOR PLAN



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN	2017 /	DA05
Drawn	SS		
Amendment	14		





## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

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Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29

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11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
FIRST FLOOR PLAN



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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS		2017 / DA06
	Amendment	14		

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SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



## LEGEND

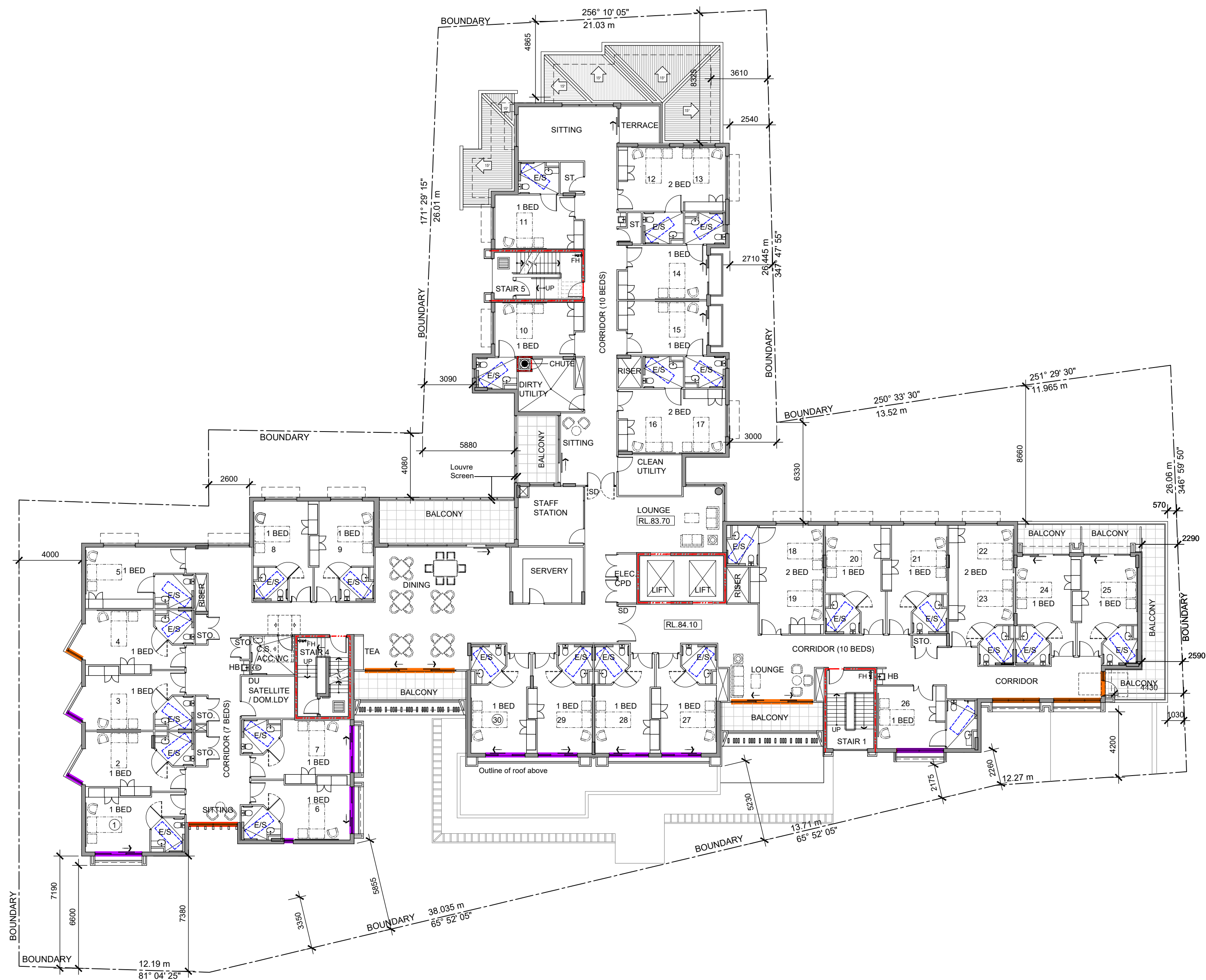
	BOUNDARY
	MASONRY WALL
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	OUTLINE OF WALL ABOVE / BELOW
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	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
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10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Changes required to avoid removing tree, Northern wing pulled back from boundary, Dwelling units to eastern wing converted to 8 bedrooms (10 beds)	27.04.20
6	Development Application Issue	19.12.19
5	Preliminary Issue	03.12.19
4	Preliminary Issue	06.11.19
3	Preliminary Issue	18.09.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
SECOND FLOOR PLAN



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architecture, health and aged care planning, project management

**br**  
1990








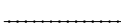
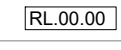
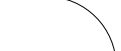
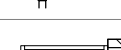

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	Date	JAN 2019	Job No.	Drawing
	Scale	1:200@A1		
	Drawn	SS		2017 / DA07
	Amendment	14		


0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3



BASIS and Thermal Comfort Inclusions	
Floors	Concrete between levels, no insulation required
Walls	External walls: Brick Veneer with R2.0 insulation (insulation only value) External colour: Medium (0.475<SA<0.7) Inter-tenancy walls: Minimum 75mm Hebel Power Panel to walls adjacent to neighbours and hallways, no insulation required. Internal walls (within units): Plasterboard on studs
Windows	Aluminium framed double glazing: U-value: 3.40 (equal to or lower than) SHGC: 0.33 (<10%) Given values are AFRC total window system values (glass and frame) Note: Operability modelled as per BASIS Thermal Protocol – 4.14.2 and NATHERS Technical Note 1.2 – 10.11 with regards to restricted openings
Ceilings	Plasterboard ceiling with R3.0 insulation (insulation only value) to where roof is above. Plasterboard ceiling, no insulation where neighbouring units are above. Note: Loss of ceiling insulation due to penetrations from down lights have been accounted for in accordance with BCA Technical Note 2 and Sealed LED down lights at a maximum of one every 2.5m2
Roof	Metal roof with foil backed blanket (Ru1.3 and Rd1.3) External colour: Dark (SA > 0.7)
Floor coverings	Tiles to throughout
Hot water system	Central gas-fired boiler with R1.0 (~38mm) insulation to ring main and supply risers
Fixtures	Showerheads: 4.0 star low flow (2.5L, but <=5.0L/min) Toilets: 4.0 star Kitchen taps: 5.0 star Bathroom vanity taps: 5.0 star
Cooling systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min 3 star
Heating systems	Ceiling fans + single phase air conditioning to living areas and bedrooms: Min 3 star
Appliances	Dish washer: 3.0 star water & 4.0 star energy rating Clothes washer: 3.0 star water & 4.0 star energy rating Clothes dryer: 6.0 star energy rating Refrigerator: 3.5 star energy rating
Ventilation in units	Kitchen - Individual fan, externally ducted to facade, manual on/off switch Bathrooms - Individual fan, externally ducted to facade, manual on/off switch Laundry - Individual fan, externally ducted to facade, manual on/off switch
Other	Electric cooktop & electric oven Well-ventilated fridge space Air conditioning day-night zoned between bedrooms and living areas

LEGEND	
	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
+ ex RL.00.00	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction		Total System R-Value (m <sup>2</sup> K/W)	
<b>J1.3</b>	Roof and ceiling construction	≥ 3.70	
<b>J1.4</b>	Roof lights	N/A	
<b>J1.5a</b>	Total System external wall construction (all facades)	≥ 2.39	
<b>J1.5b</b>	Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00	
<b>J1.6a</b>	Floor construction (above an unconditioned zone)	≥ 2.00	
<b>J1.6b</b>	Floor construction (concrete slab on ground)	No insulation required	
Glazing - Frame Construction (Uniform solution)		Total System SHGC	Total System SHGC
<b>J1.5c</b>	Total Window Frame construction	≤ 4.00	≤ 0.29

14	Preliminary DA Issue	30.09.2020
13	Development Application Issue	07.09.2020
12	Development Application Issue for review	14.08.2020
11	Development Application Issue for review	11.08.2020
10	Preliminary Issue discussion	27.07.2020
9	Preliminary Issue for coordination	08.07.2020
8	Preliminary Issue for review & comment	06.07.2020
7	Meeting with PM	22.06.2020
6	2 x Dwelling Suite added and Plant area modified.	21.05.2020
5	2 x Dwelling Suite added and Plant area modified.	27.04.20
4	Development Application Issue	19.12.19
3	Preliminary Issue	03.12.19
2	Preliminary Issue	06.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick


Drawing  
THIRD FLOOR PLAN

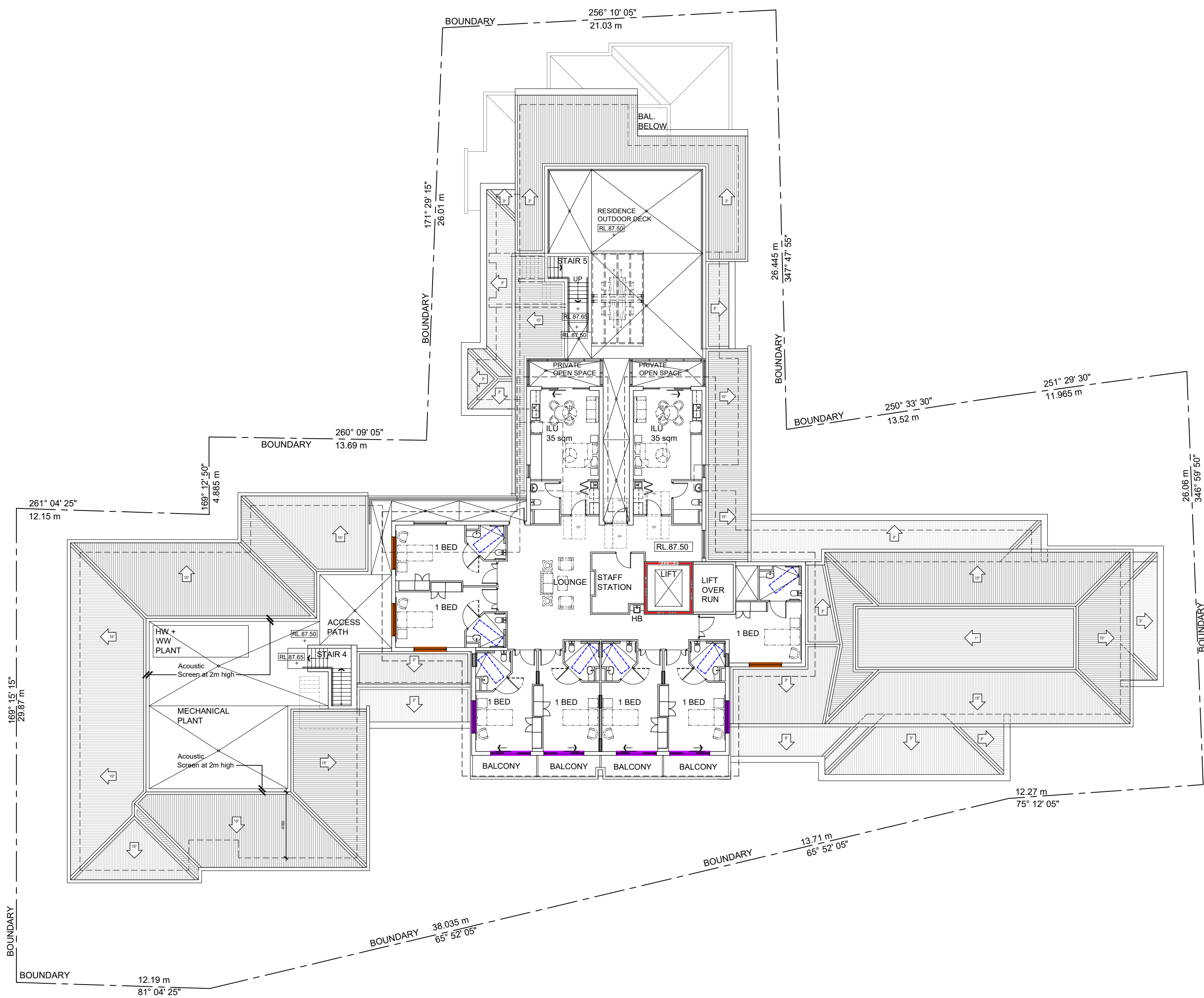


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	Date	JAN 2019	Job No. : Drawing  2017 / DA08
	Scale	AS SHOWN	
	Drawn	SS / WW	
	Amendment	14	





## LEGEND

	BOUNDARY
	MASONRY WALL
	STUD WALL
	OUTLINE OF WALL ABOVE / BELOW
	ROOF OUTLINE
	NEW FENCE
	EXISTING LEVELS
	PROPOSED LEVELS
	PROPOSED DOOR
	PROPOSED WINDOW
	MOBILE BATH
	CEILING FAN
	ELEVATION TAG
	SECTION / ELEVATION TAG

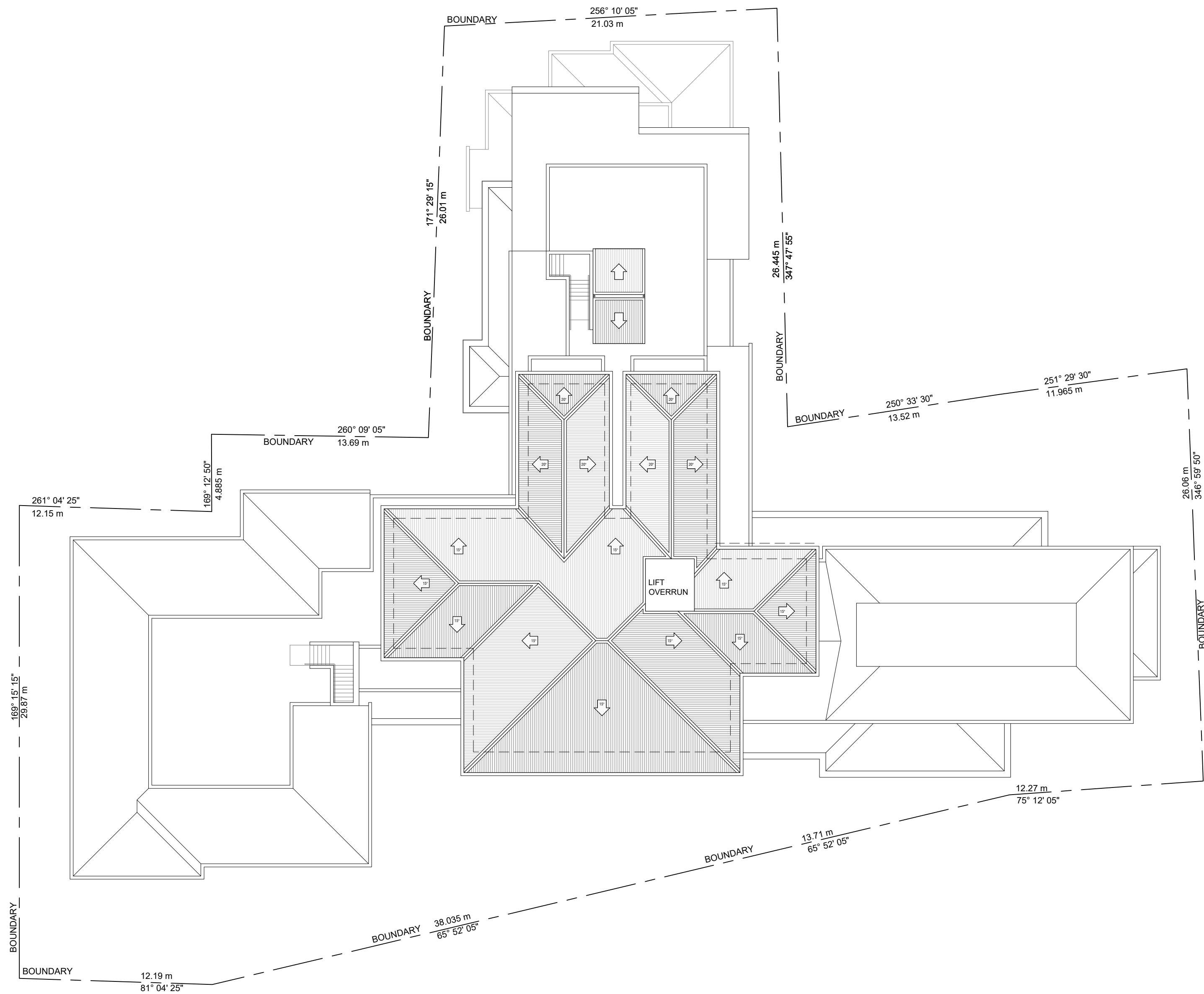
## ACOUSTIC REQUIREMENTS

	Rw 36 10.38mm laminated OR Rw 36 6/12/8 glass
	Rw 31 10mm monolithic OR Rw 34 6/12/6 glass
	Rw 27 6mm monolithic OR Rw 34 6/12/6 glass

## NCC 2019 - SECTION J REQUIREMENTS

Envelope Construction	Total System R-Value (m²K/W)
J1.3 Roof and ceiling construction	≥ 3.70
J1.4 Roof lights	N/A
J1.5a Total System external wall construction (all facades)	≥ 2.39
J1.5b Total System internal wall construction (between conditioned & unconditioned areas)	≥ 1.00
J1.6a Floor construction (above an unconditioned zone)	≥ 2.00
J1.6b Floor construction (concrete slab on ground)	No insulation required

Glazing - Frame Construction (Uniform solution)	Orientation	Total System SHGC	Total System SHGC
J1.5c Total Window Frame construction	All facades	≤ 4.00	≤ 0.29



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1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
ROOF PLAN



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	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN	2017 /	DA09
	Drawn	SS / WW		
	Amendment	14		

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SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

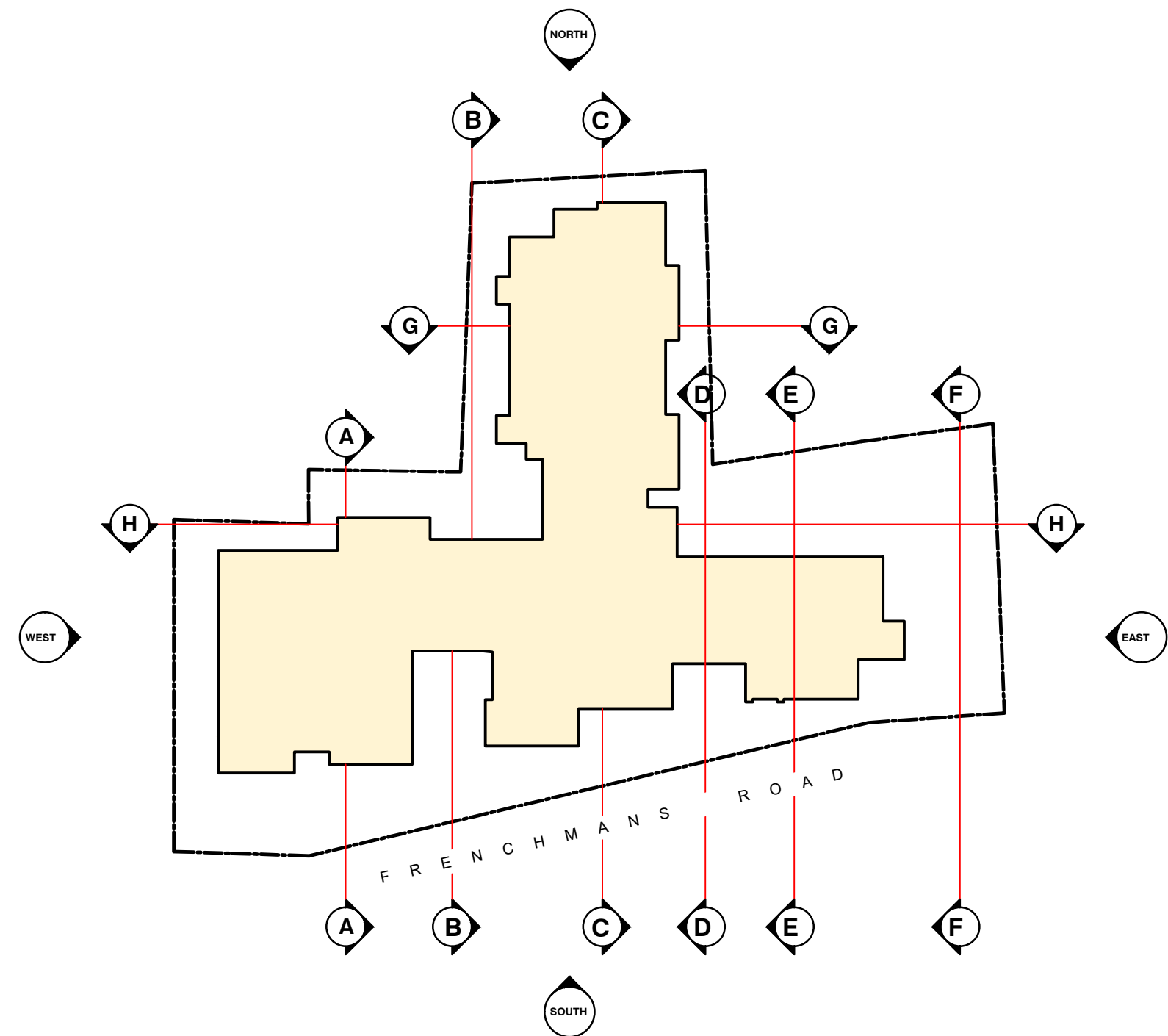


#### LEGEND

AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

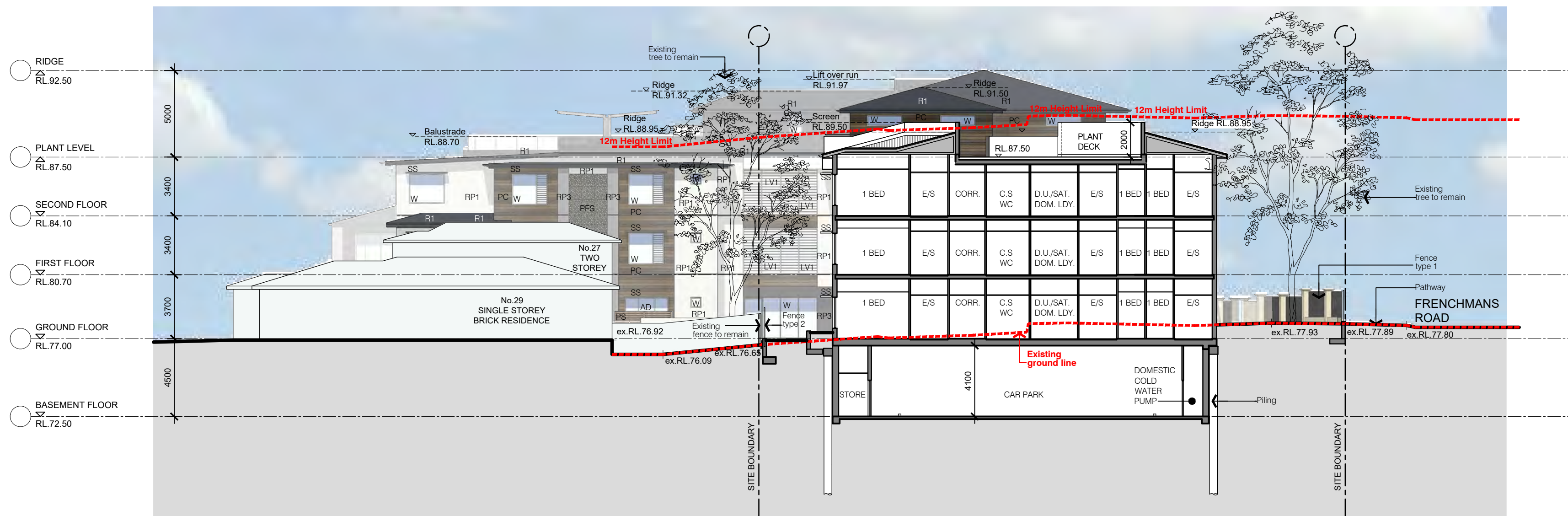
#### FENCE TYPES

F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

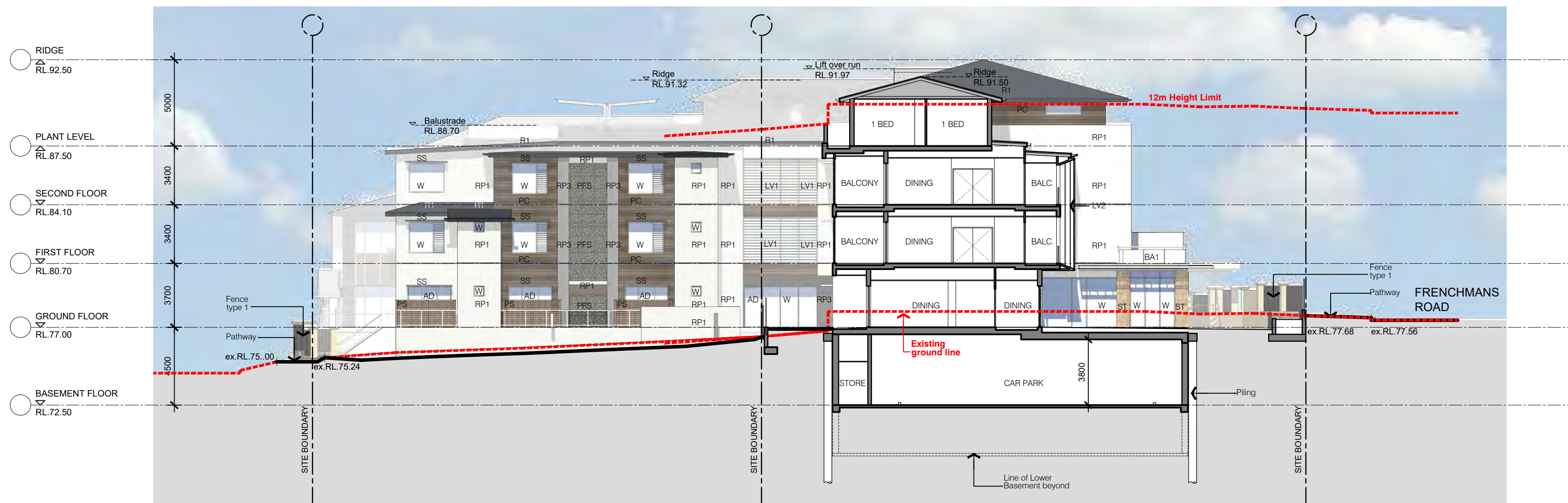


#### KEY PLAN

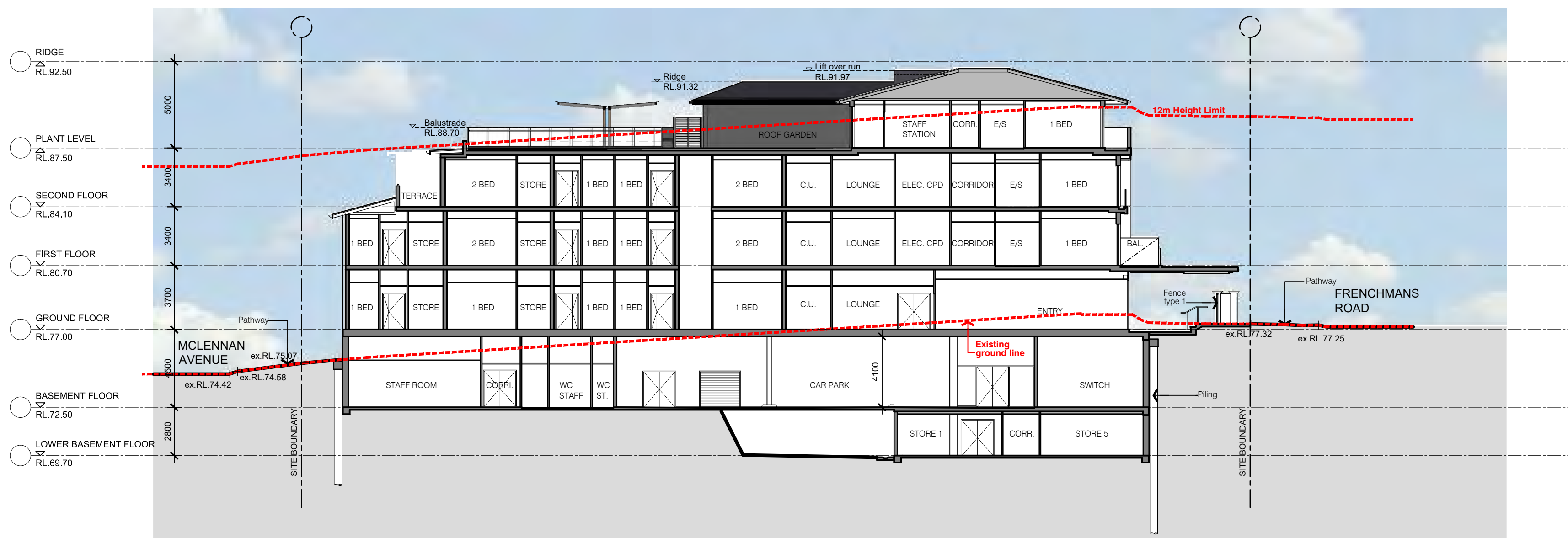
01 Section A  
Scale 1:200



02 Section B  
Scale 1:200



03 Section C  
Scale 1:200



7	Preliminary DA Issue	30.09.2020
6	Development Application Issue	07.09.2020
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4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (A, B & C)



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	7		

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SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

1912/ DA10

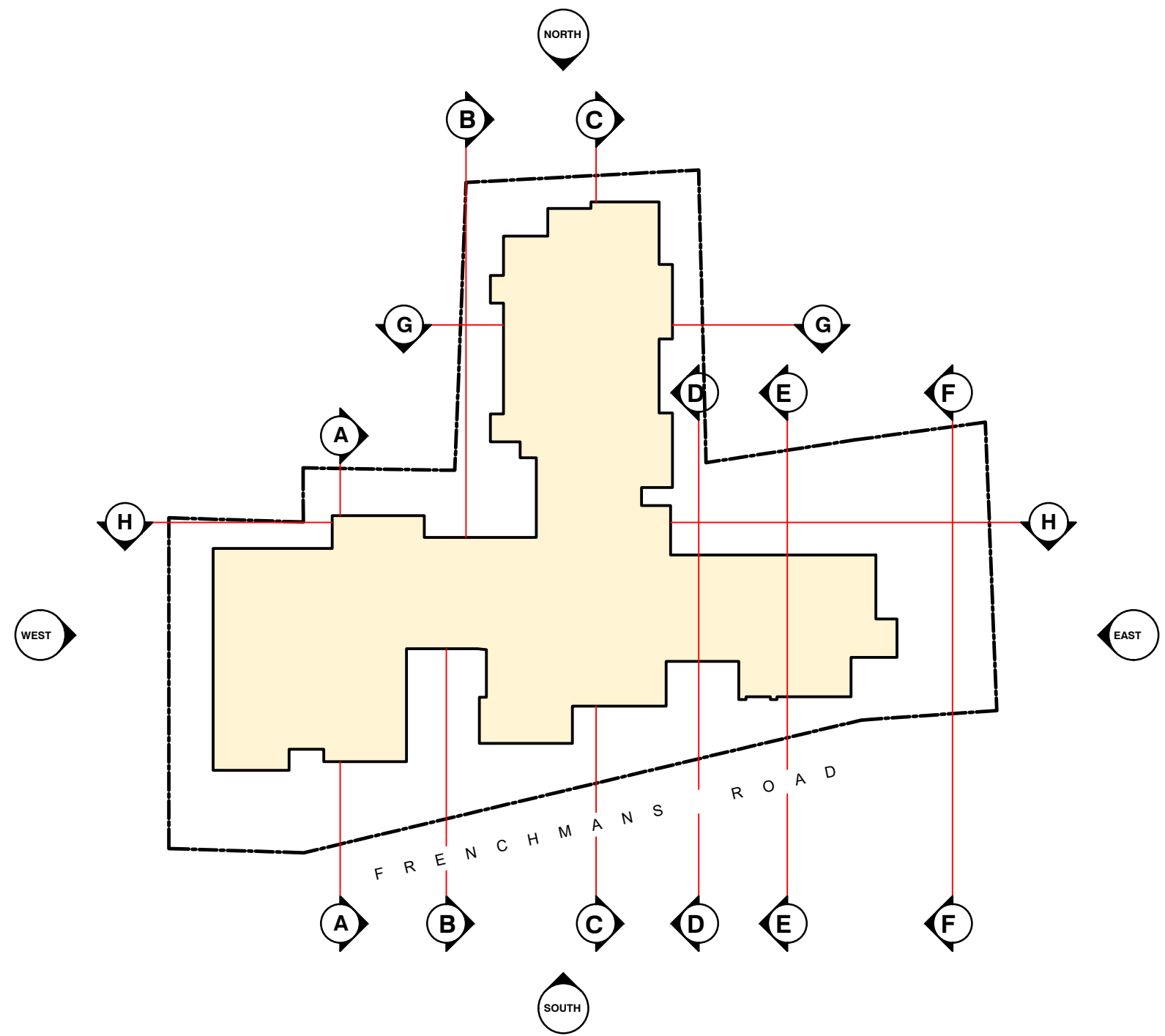


#### LEGEND

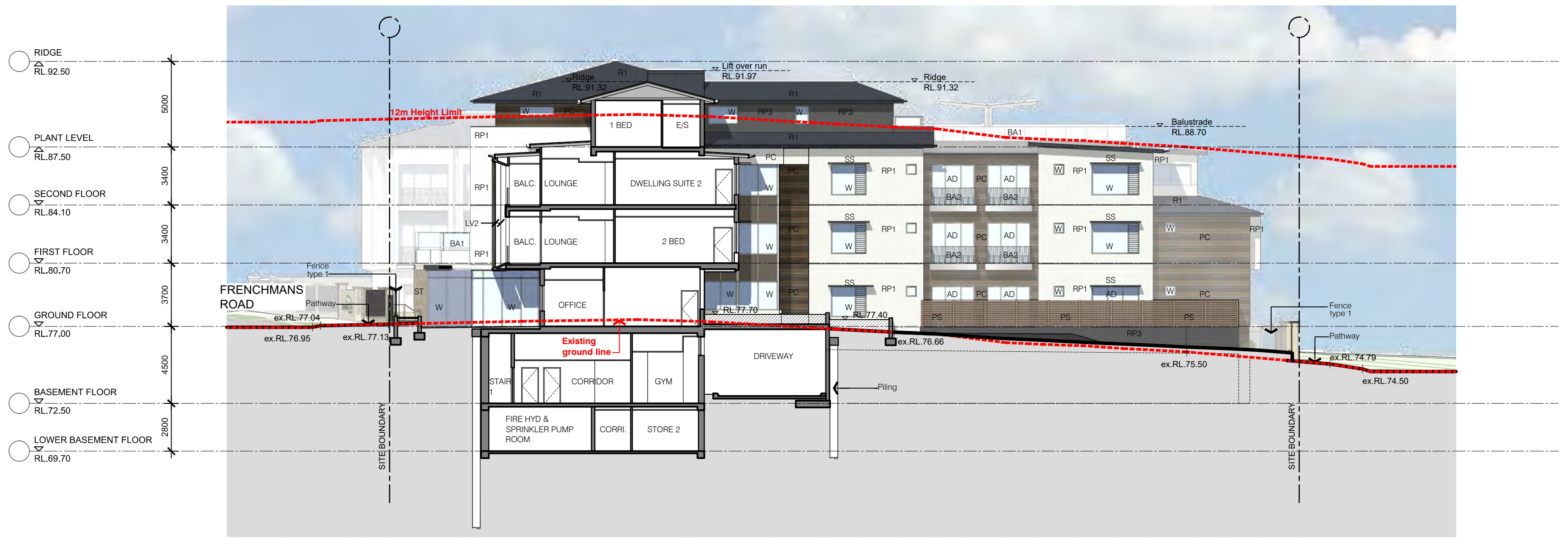
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS

#### FENCE TYPES

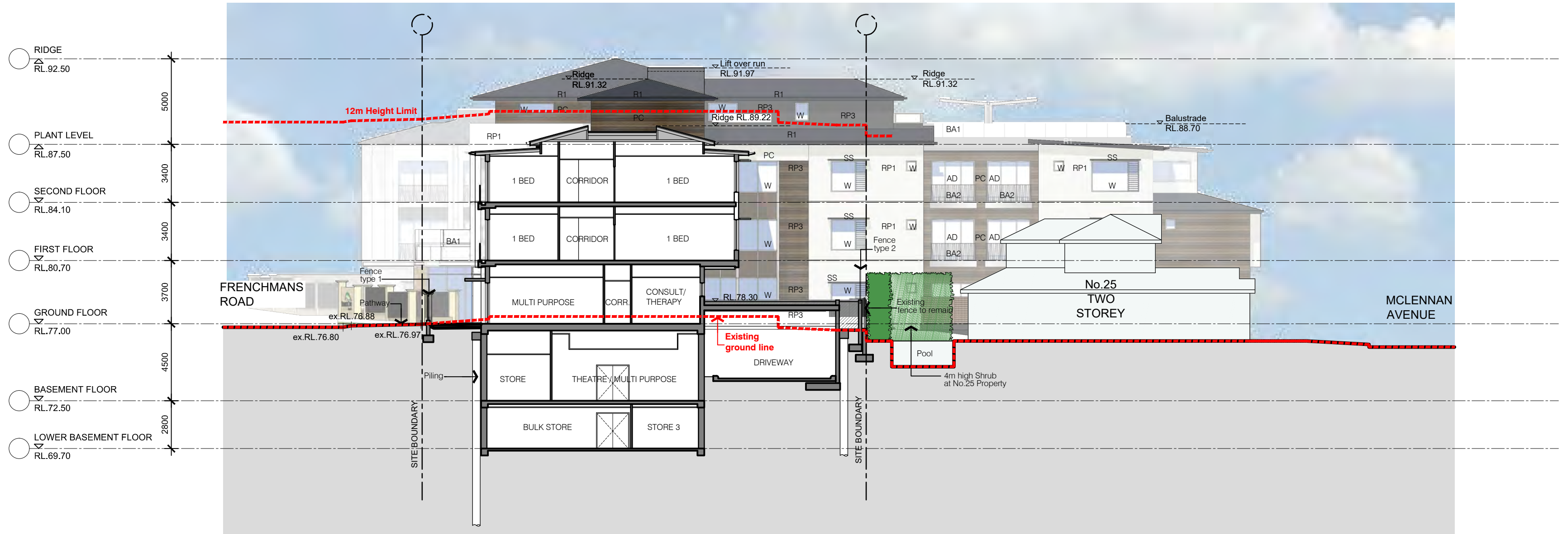
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST REINFORCED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



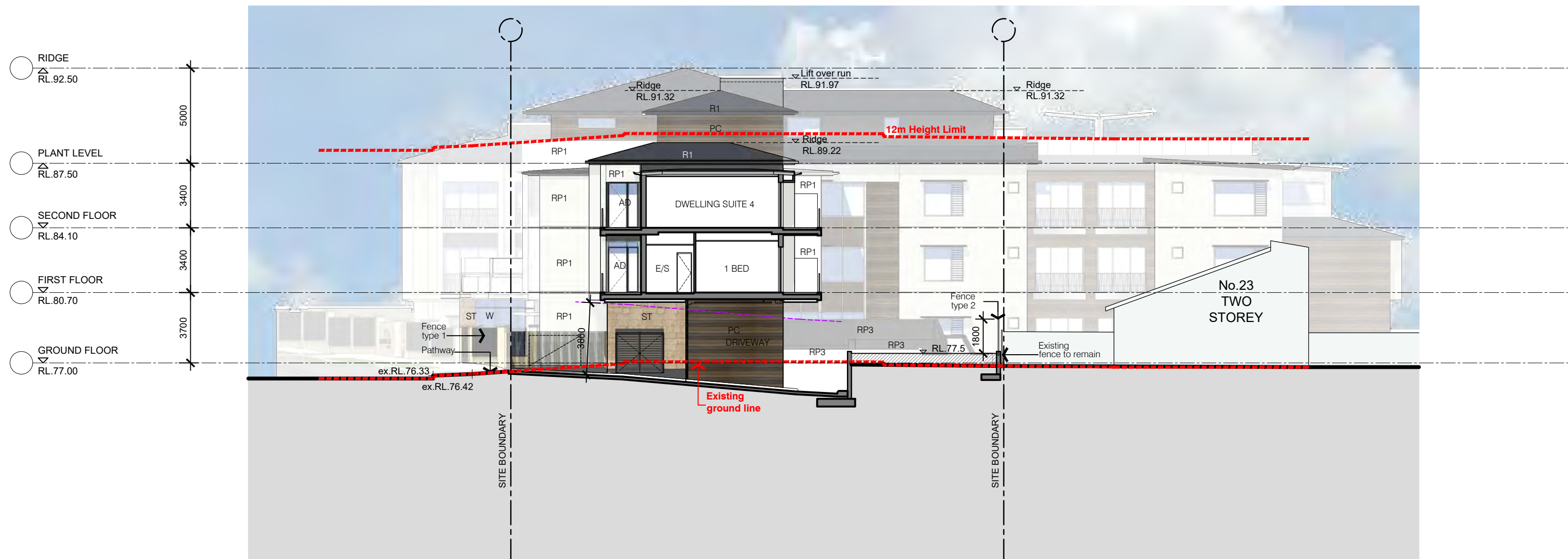
#### KEY PLAN



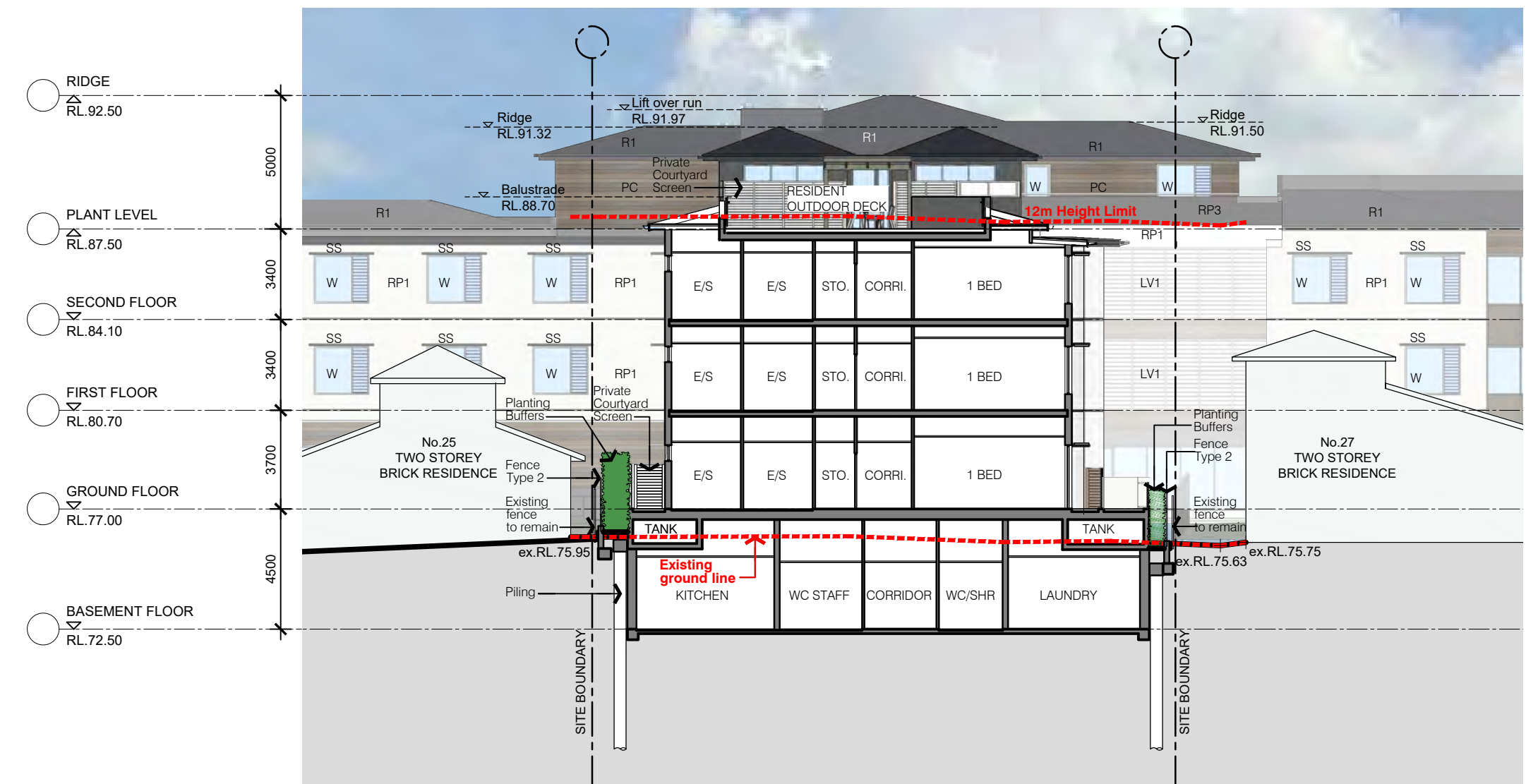
04 Section D  
Scale 1:200



05 Section E  
Scale 1:200



06 Section F  
Scale 1:200



07 Section G  
Scale 1:200



7	Preliminary DA Issue	30.09.2020
6	Development Application Issue	07.09.2020
5	Development Application Issue for review	14.08.2020
4	Development Application Issue for review	11.08.2020
3	Development Application Issue	19.12.19
2	Preliminary Issue	19.11.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
**FRENCHMANS LODGE**  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTIONS (D, E, F & G)



Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	7		

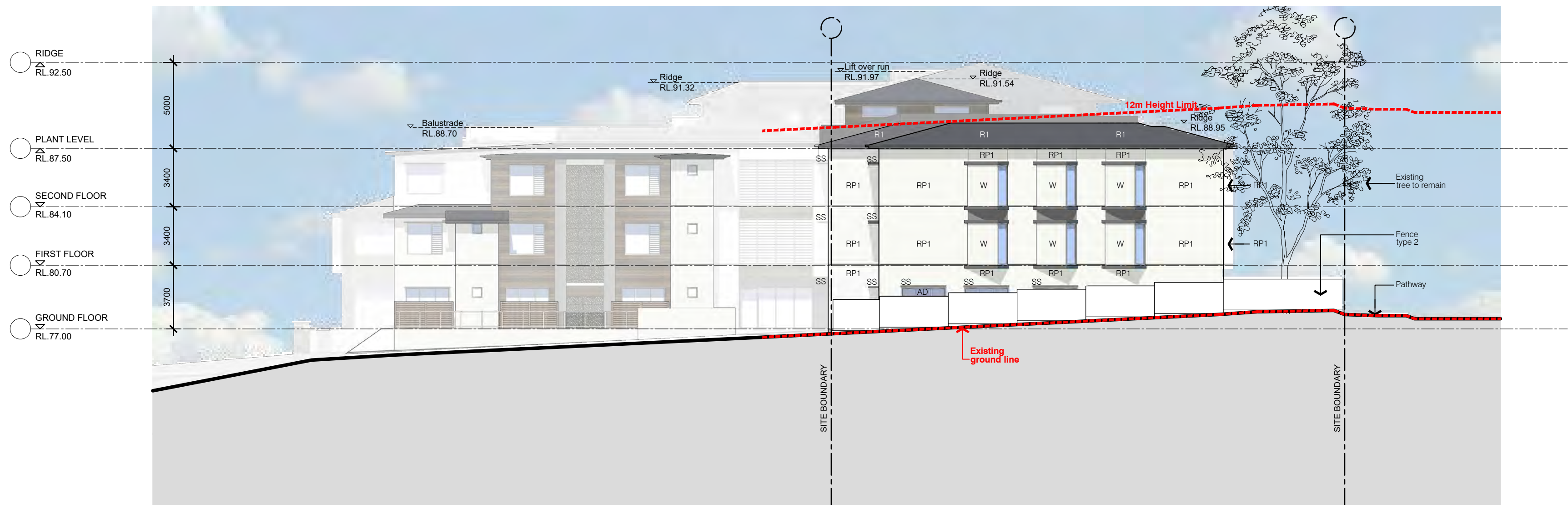




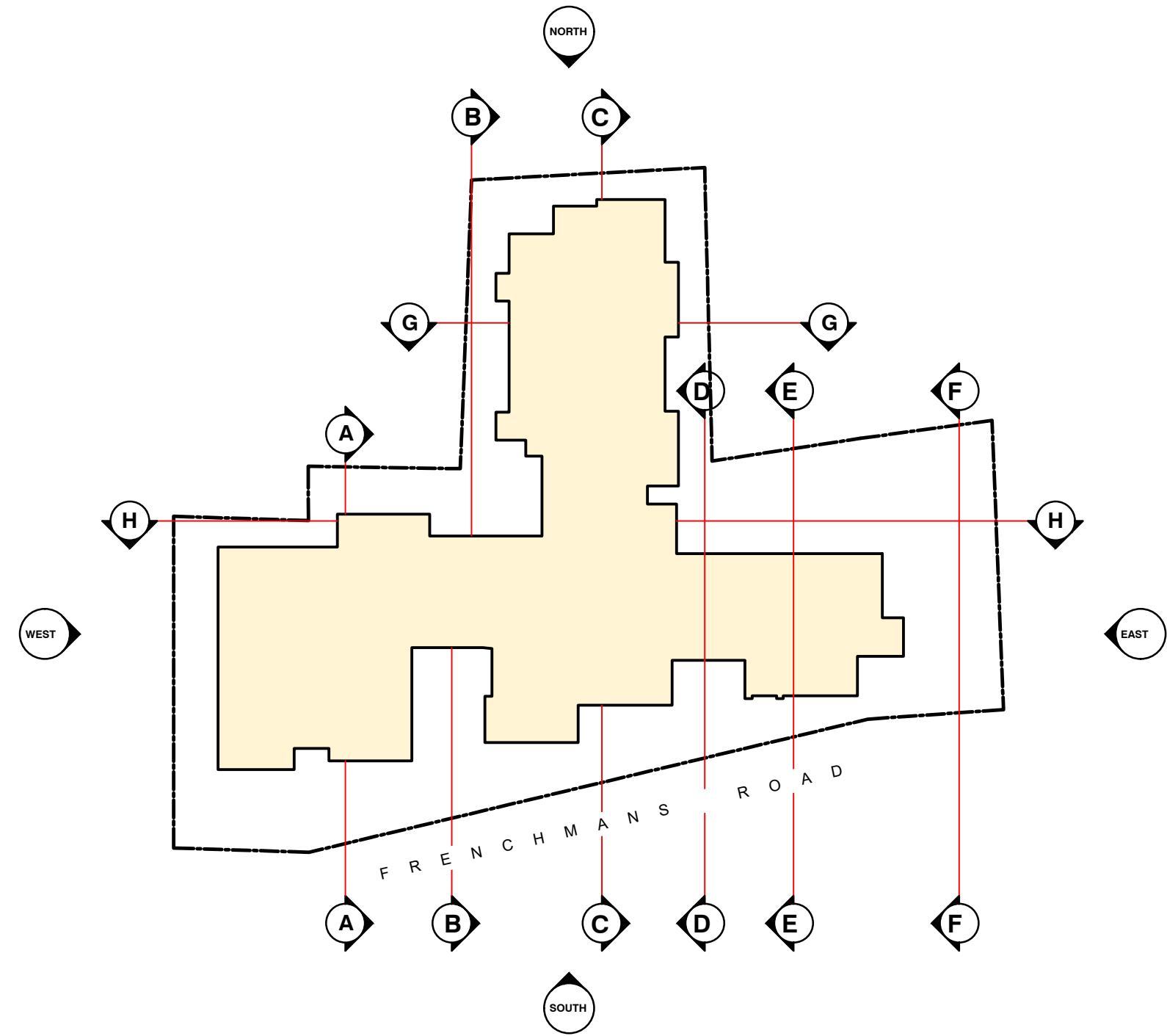
08 Section H  
Scale 1:200



09 South Boundary Elevation  
Scale 1:200



10 West Boundary Elevation  
Scale 1:200



KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
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RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS
FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE

6	Preliminary DA Issue	30.09.2020
5	Development Application Issue	07.09.2020
4	Development Application Issue for review	14.08.2020
3	Development Application Issue for review	11.08.2020
2	Development Application Issue	19.12.19
1	Preliminary Issue	19.11.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SECTION H & ELEVATIONS  
(South & West Boundary)

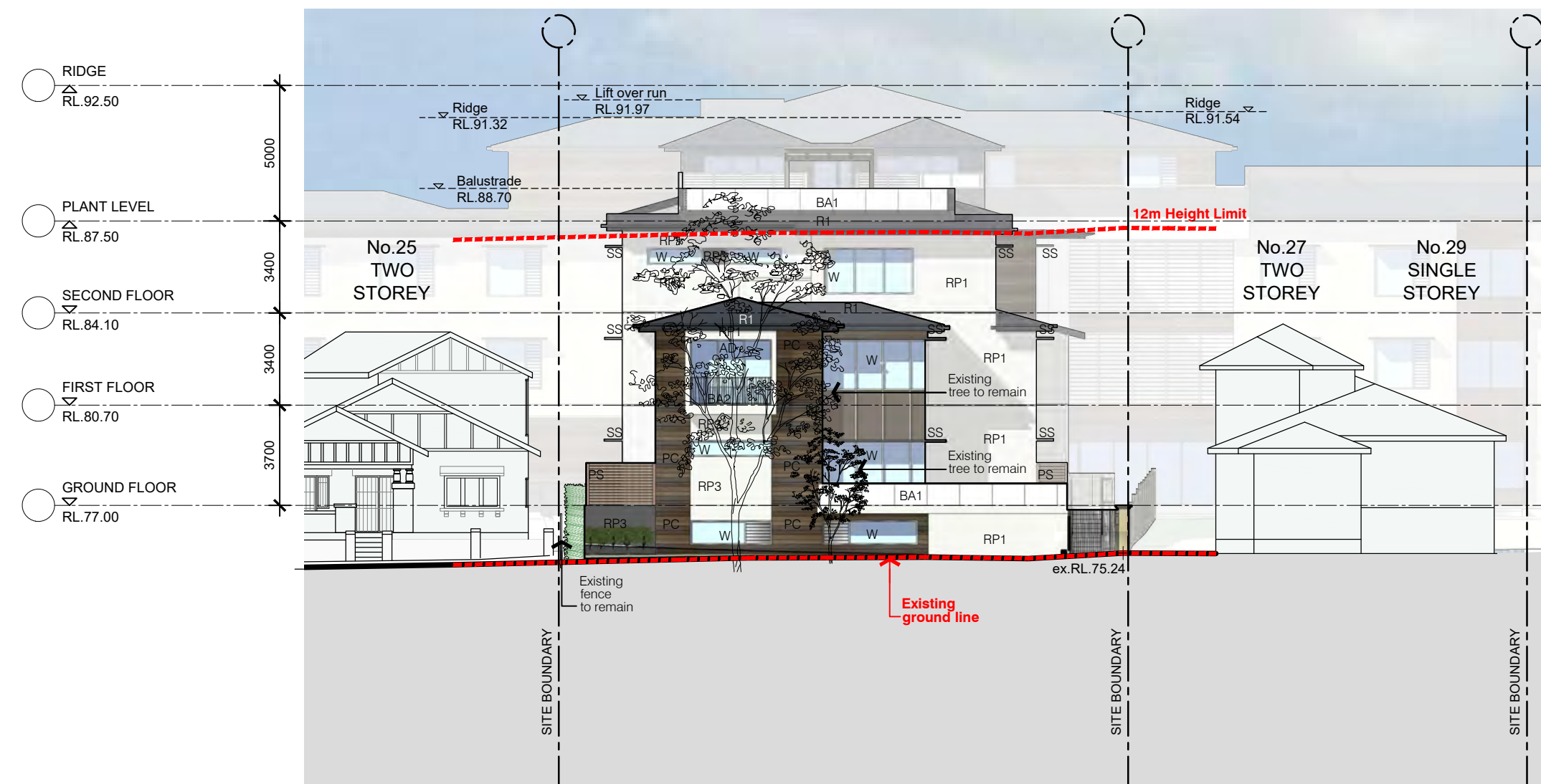


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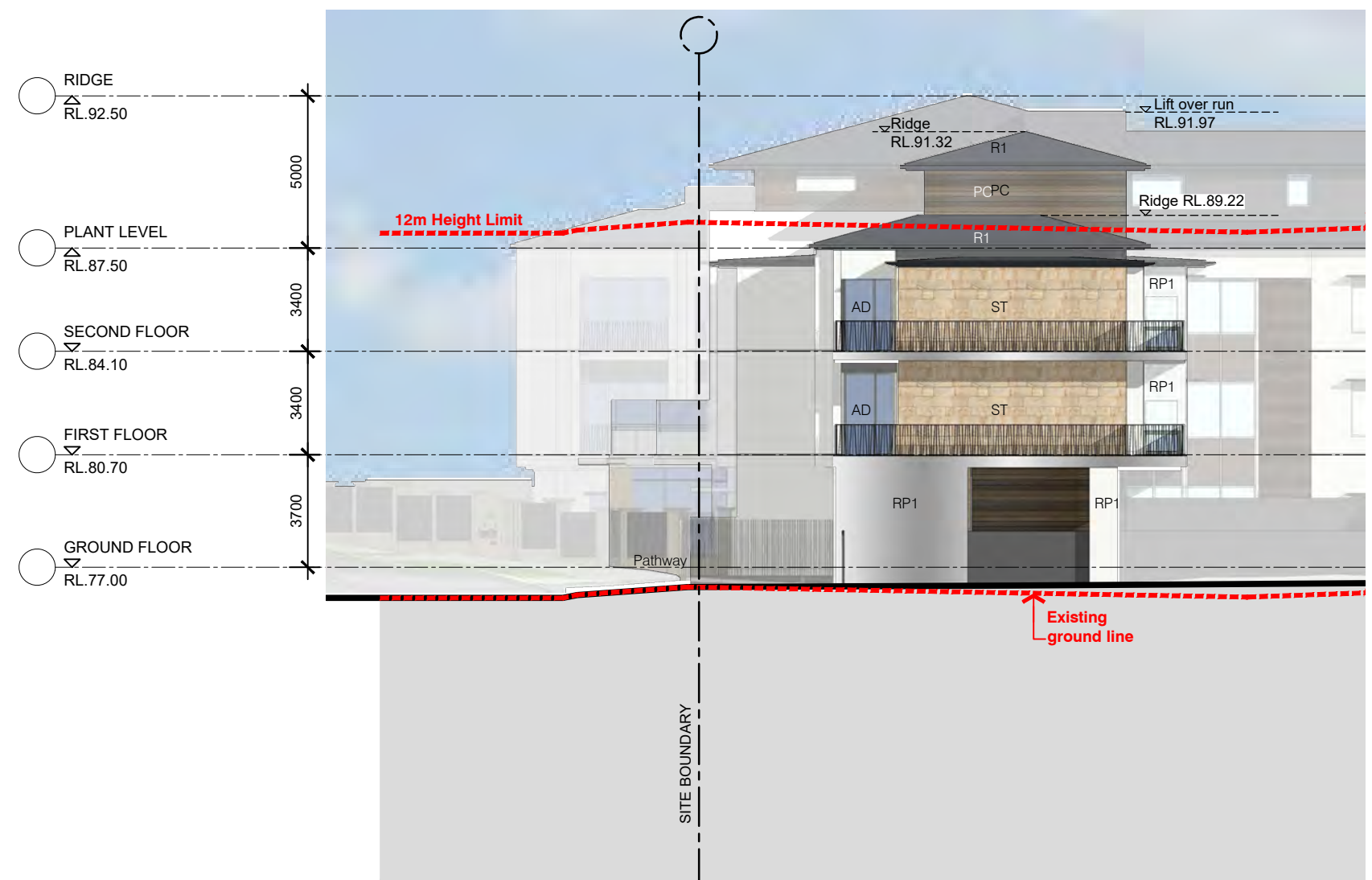
Date	NOV 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	6		



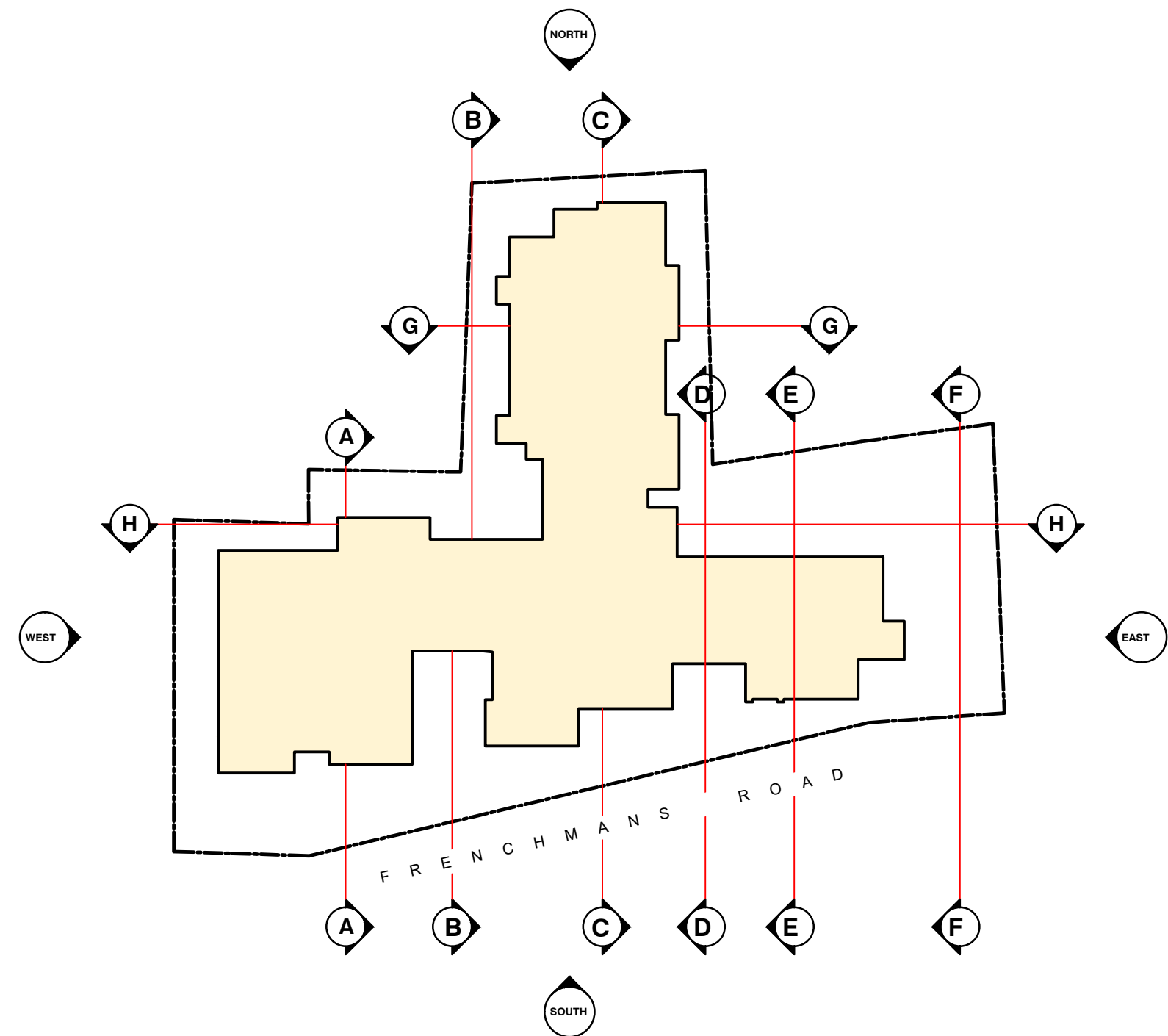




11 NORTH ELEVATION  
Scale 1:200

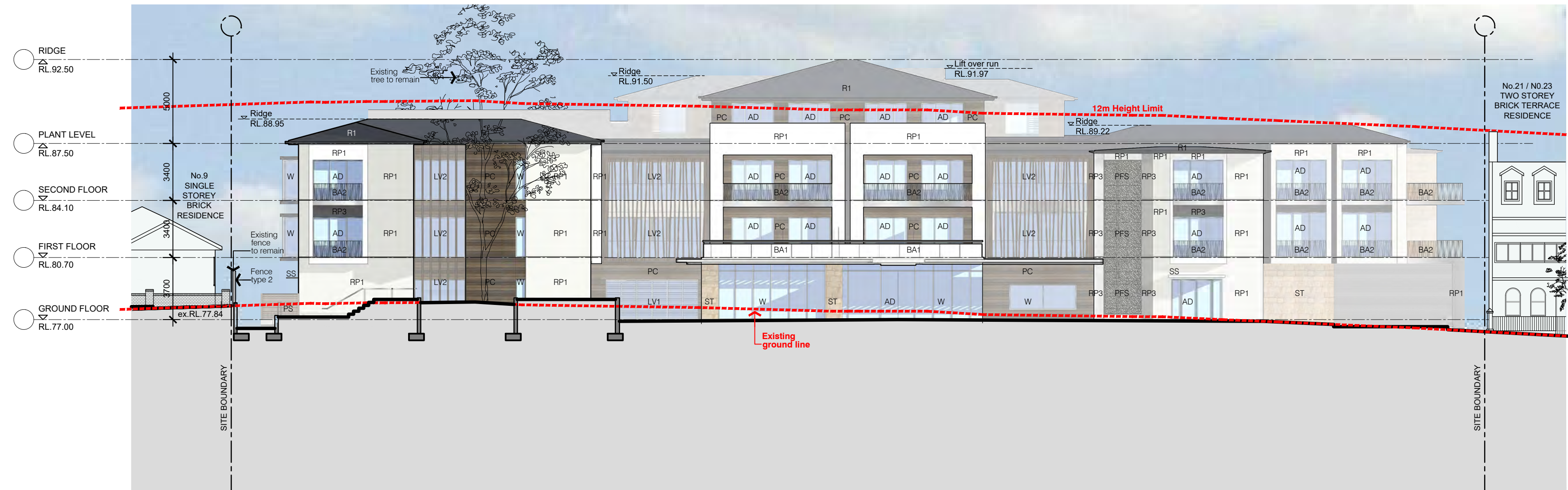


12 EAST ELEVATION  
Scale 1:200

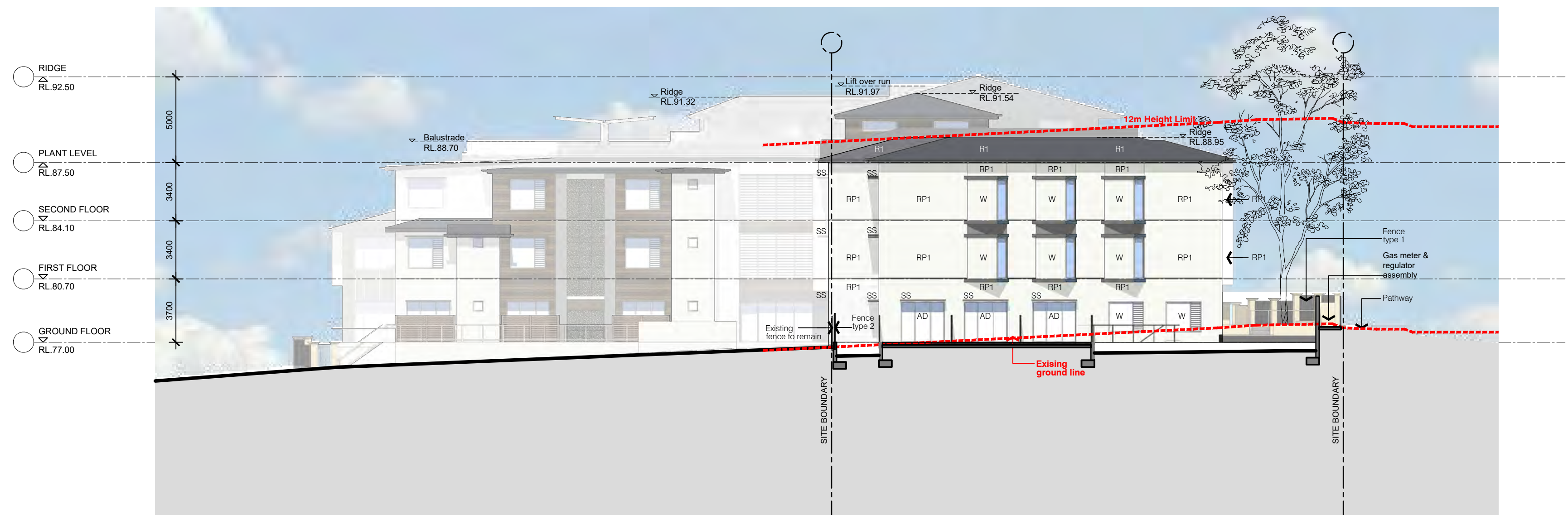


KEY PLAN

LEGEND	
AD	ALUMINIUM FRAMED DOORS
BA1	BALUSTRADE - TYPE 1 (GLASS)
BA2	BALUSTRADE - TYPE 2 (DECORATIVE GRILLE)
EGL	EXISTING GROUND LINE
FGL	FINISHED GROUND LINE
LV1	LOUVRE - POWDER COATED
LV2	LOUVRE DECORATIVE
PC	PREFINISHED CLADDING (TIMBER LOOK)
PFS	PERFORATED SCREEN - POWDER COATED
PS	1800H PRIVACY SCREEN
R1	ROOF GUTTER, DP - TYPE 1 (CORRUGATED COLORBOND, COLOR IRONSTONE)
RP1	RENDERED PAINTED WALL - COLOUR WHITE
RP2	RENDERED PAINTED WALL - COLOUR BROWN
RP3	RENDERED PAINTED WALL - COLOUR GREY
RS	ROLLER SHUTTER - SILVER
RW	RETAINING WALL - STONE CLADDING
SS	SUN SHADING
ST	STONE CLADDING
W	ALUMINIUM FRAMED WINDOWS
FENCE TYPES	
F1	1800H POWDER COATED STEEL BLADE SECURITY FENCE ON MASONRY WALL RENDERED AND PAINTED WITH 400 X400 X1950H MASONRY COLUMN POST RENDERED AND PAINTED FINISH
F2	1800H COLORBOND STEEL FENCING ON MASONRY WALL RENDERED AND PAINTED + EXISTING FENCE



13 SOUTH ELEVATION  
Scale 1:200



14 WESTELEVATION  
Scale 1:200

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

8	Preliminary DA Issue	30.09.2020
7	Development Application Issue	07.09.2020
6	Development Application Issue for review	14.08.2020
5	Development Application Issue for review	10.08.2020
4	Development Application Issue	19.12.19
3	Preliminary Issue	19.11.19
2	Preliminary Issue	18.09.19
1	Preliminary Issue	27.08.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
ELEVATIONS (North, East, South & West)



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	WW		
Amendment	8		
		1912 /	DA13





5	Preliminary DA Issue	30.09.2020
4	Development Application Issue	07.09.2020
3	Development Application Issue for review	14.08.2020
2	Development Application Issue for review	12.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATIONS PROPOSED



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Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	AL		1912/ DA14
Amendment	5		





01 Frenchmans Road Street Elevation  
Proposed



02 Frenchmans Road Street Elevation  
Existing



03 Opposite side of Frenchmans Road Street Elevation  
Existing

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
FRENCHMANS ROAD-PHOTOMONTAGE



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**obr**  
**iqg**

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Date	JULY 2019	Job No.	Drawing
Scale	NTS @ A1		
Drawn	VI		2017 / DA15
Amendment	4		





01 McLennan Avenue Street Elevation  
Proposed



02 McLennan Avenue Street Elevation  
Existing



03 View from Chapel Street  
Proposed



04 View from Chapel Street  
Existing

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
A	Preliminary Issue	00.06.19
No.	Amendment	Date

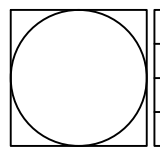
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
STREET ELEVATION @  
MCLENNAN AVENUE -PHOTOMONTAGE



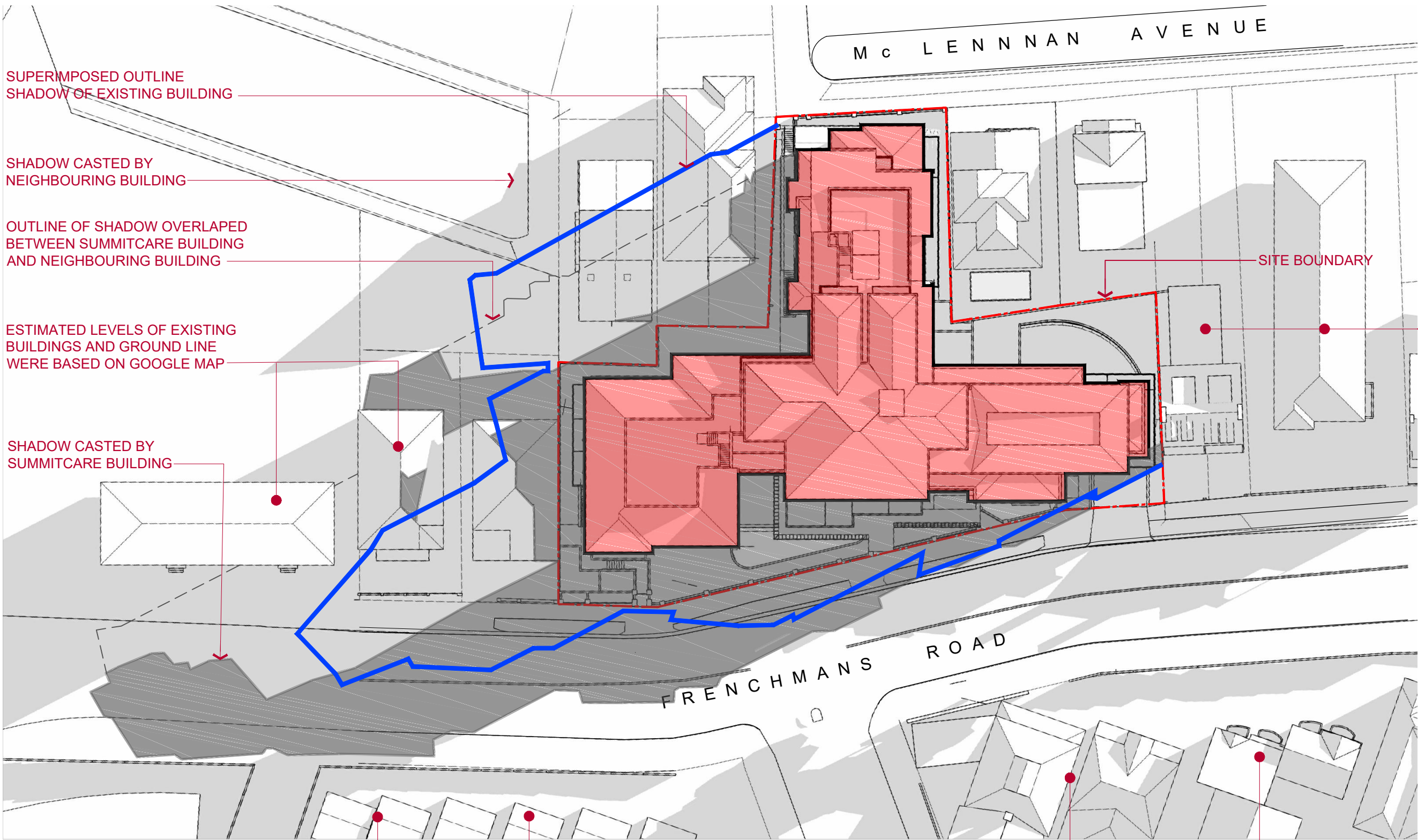
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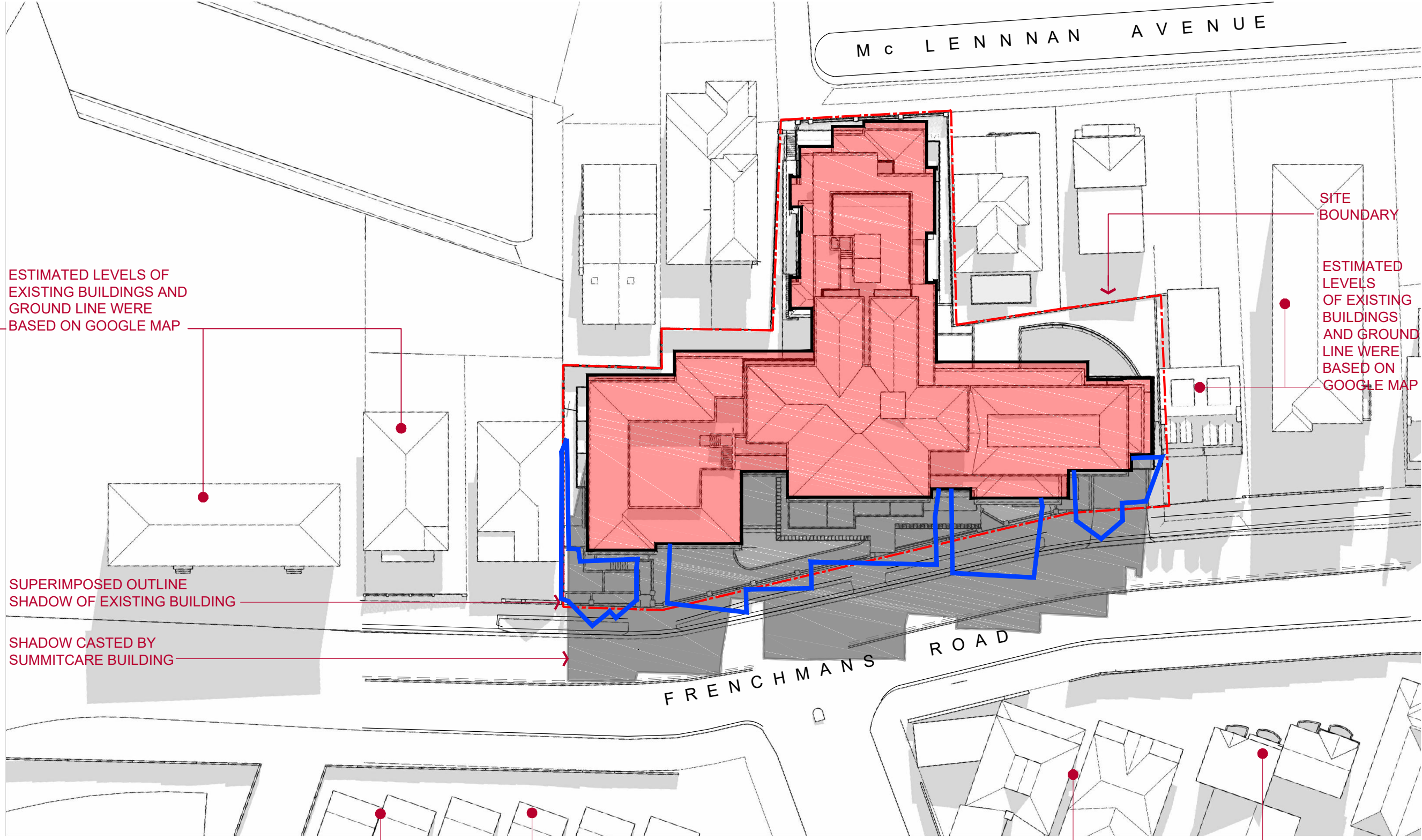
Suite 7, Level 1, Epica, 9 Railway Street  
Cherrywood NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

	Date	JULY 2019	Job No.	Drawing
	Scale	NTS @ A1		
	Drawn	VI		2017 / DA16
	Amendment	4		





21 JUNE 8AM  
PROPOSED

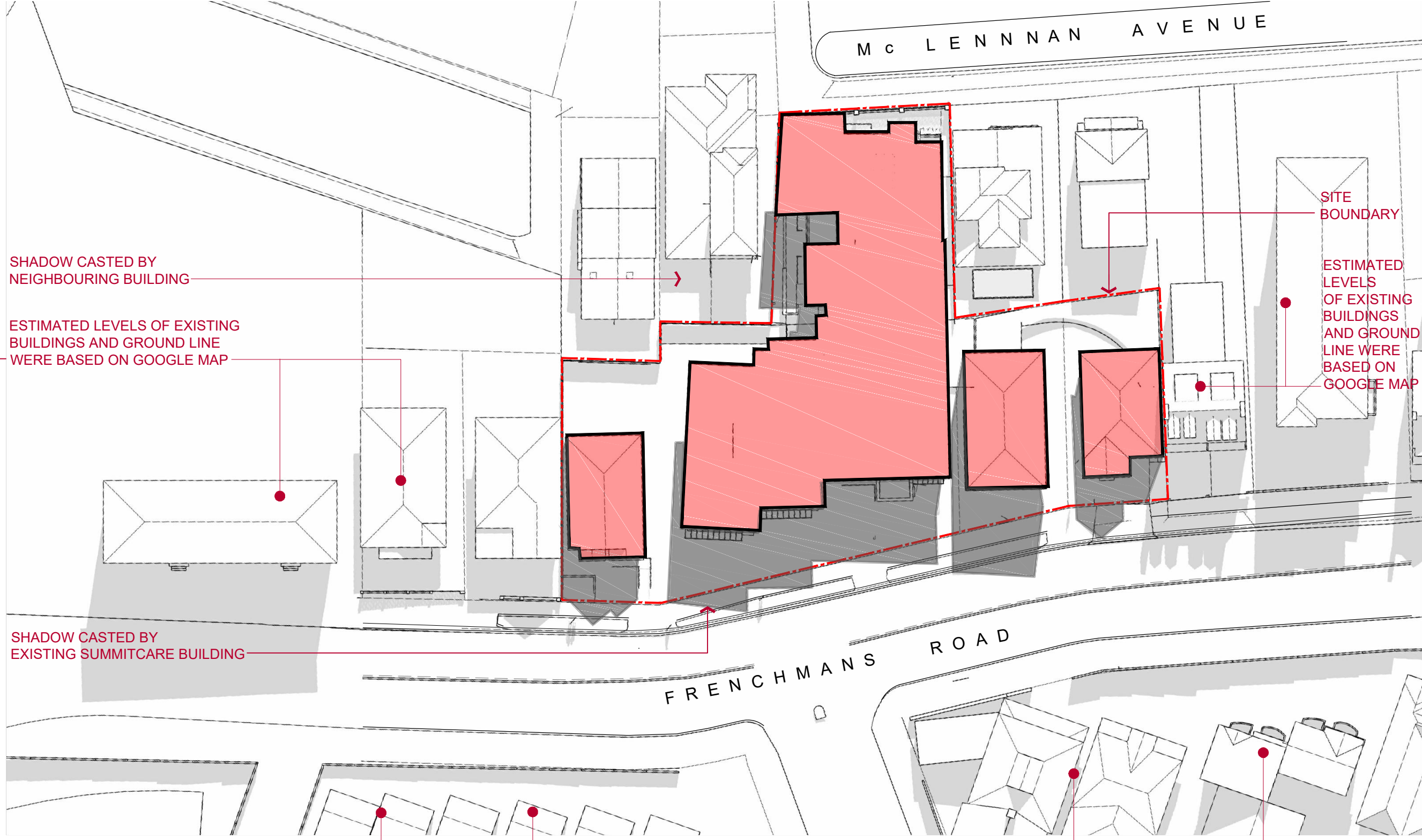


21 JUNE 12PM  
PROPOSED

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 8AM  
EXISTING



21 JUNE 12PM  
EXISTING



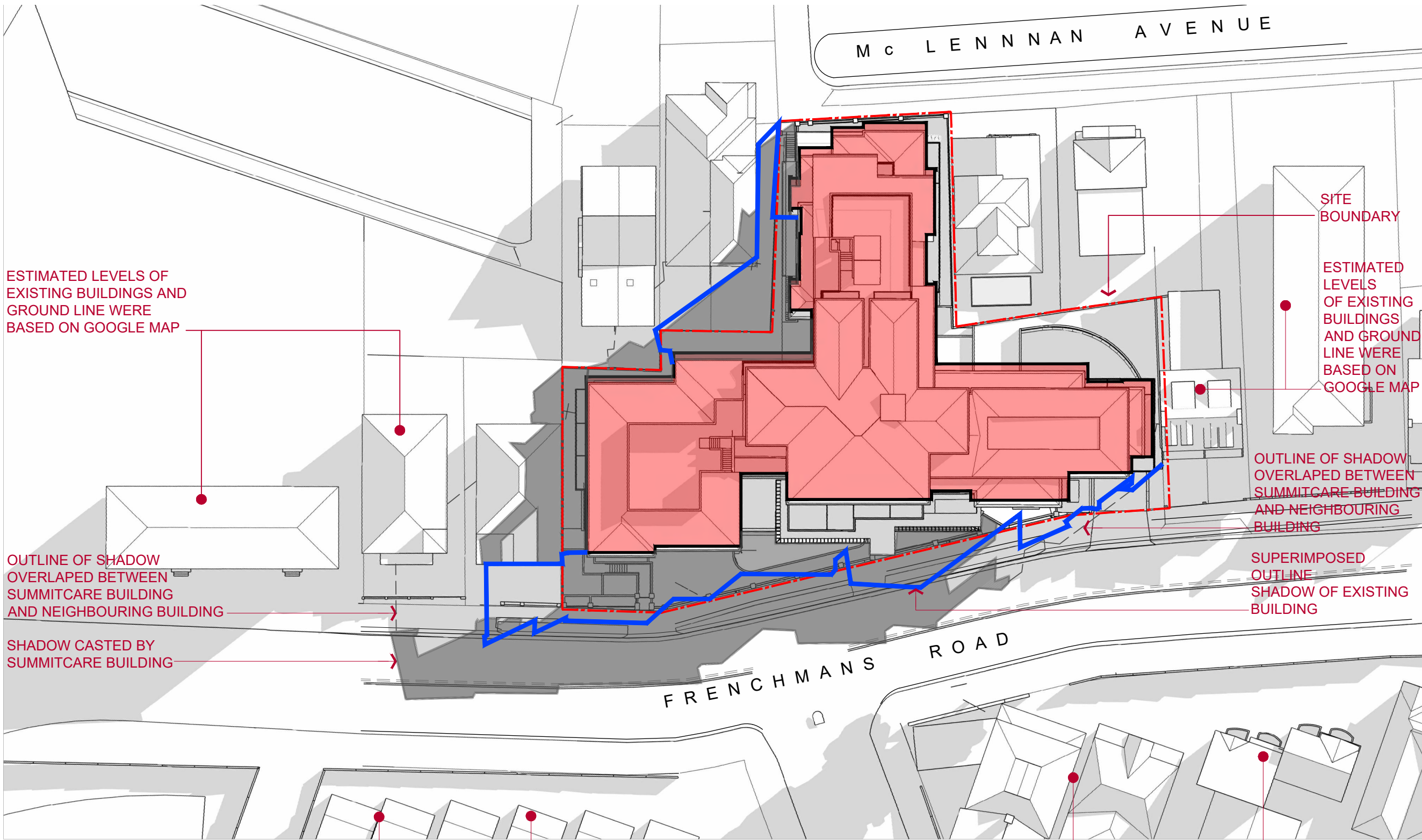
4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 8am & 12pm

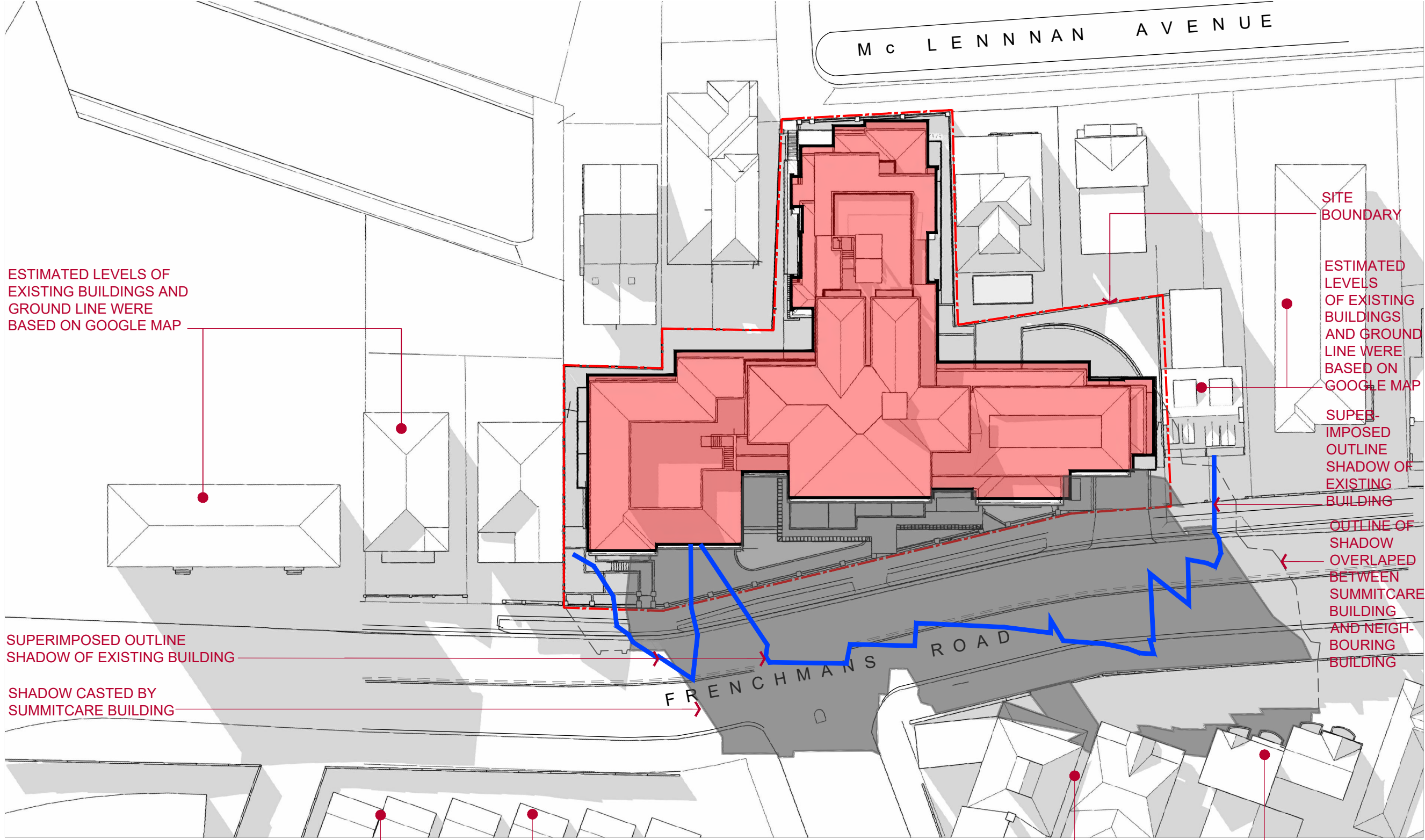
**boffa robertson group**  
architecture, health and aged care planning, project management  
  
Suite 7, Level 1, Epica, 9 Railway Street  
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AUSTRALIA  
Tel: (02) 9406 7000  
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Email: brgroup@brgr.net

Date: JAN 2019	Job No.: Drawing
Scale: 1:500	1912/ DA17
Drawn: VI	
Amendment: 4	





21 JUNE 9AM  
PROPOSED



21 JUNE 3PM  
PROPOSED

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY



21 JUNE 9AM  
EXISTING



21 JUNE 3PM  
EXISTING



1	Preliminary DA Issue	30.10.20
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK

Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 9am & 3pm

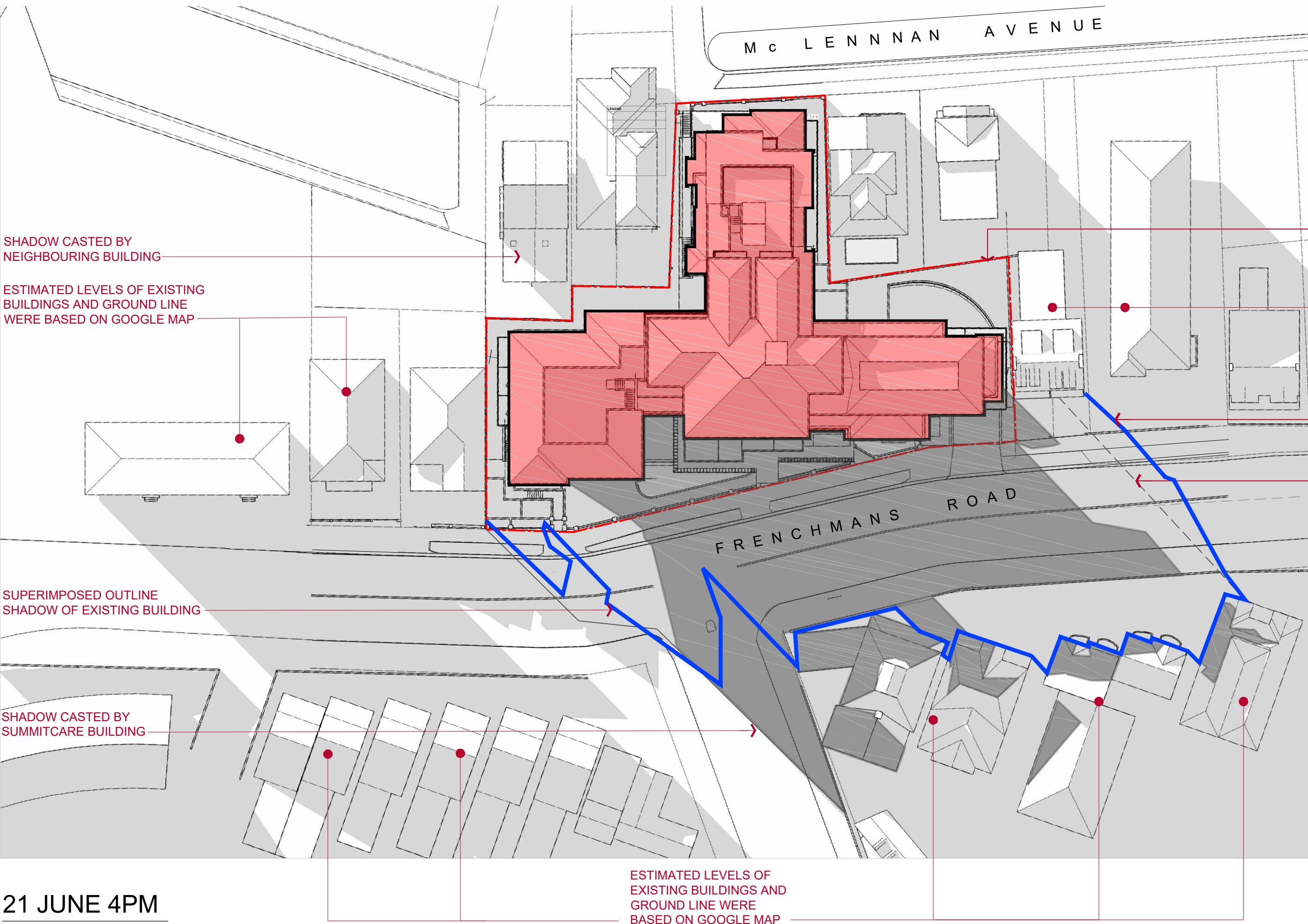
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architecture, health and aged care planning, project management

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Fax: (02) 9406 7099  
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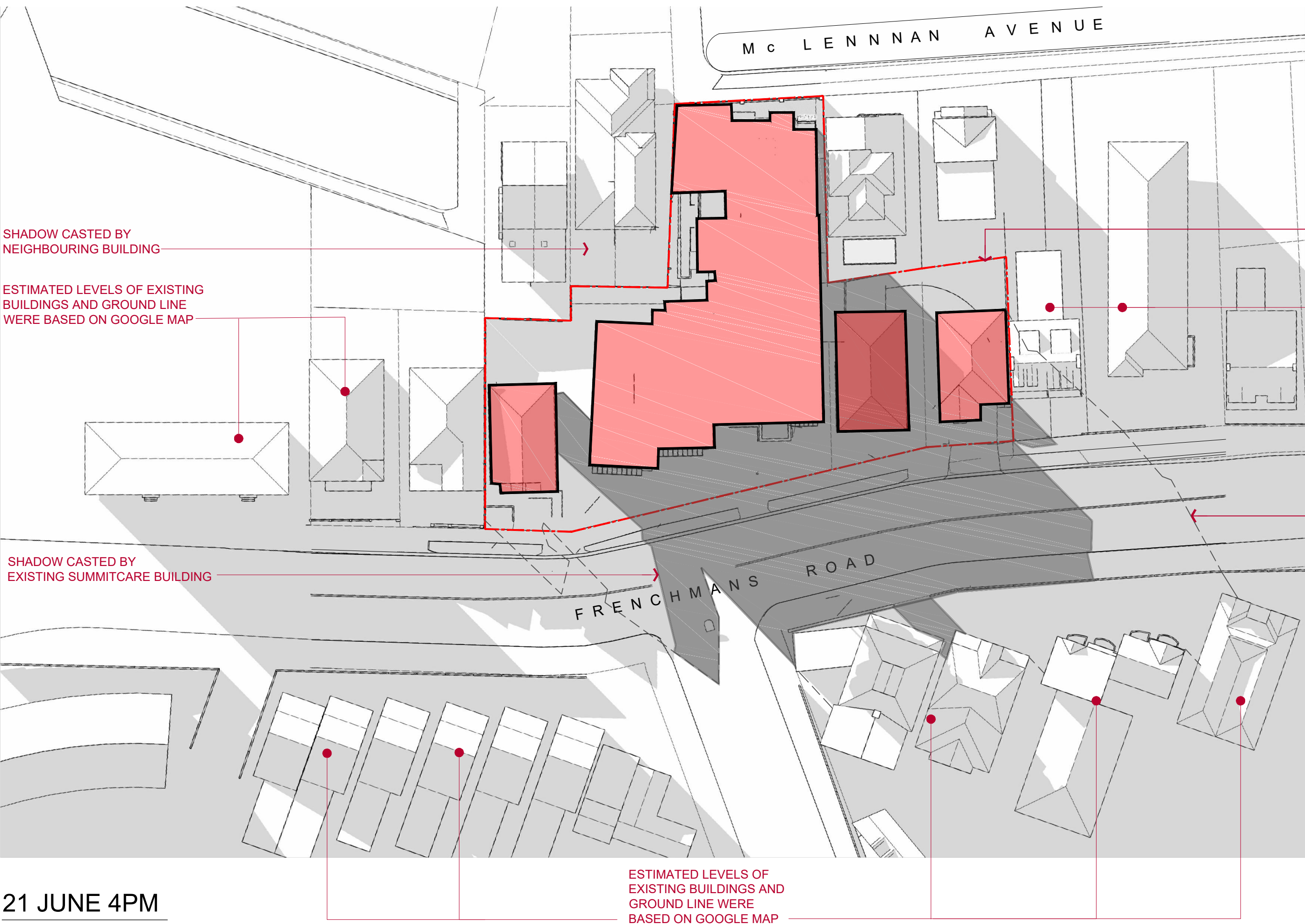
Date	JAN 2019	Job No.	Drawing
Scale	1: 500		
Drawn	VI		
Amendment	1		

1912 / DA17a





21 JUNE 4PM  
PROPOSED



21 JUNE 4PM  
EXISTING

LEGEND	
	BUILDING ROOF OUTLINE
	SHADOW CASTED BY SUMMITCARE BUILDING
	SHADOW CASTED BY NEIGHBOURING BUILDING
	OUTLINE OF SHADOW OVERLAPED BETWEEN SUMMITCARE BUILDING AND NEIGHBOURING BUILDING
	SUPERIMPOSED OUTLINE SHADOW OF EXISTING BUILDING
	SITE BOUNDARY

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue	19.12.19
No.	Amendment	Date

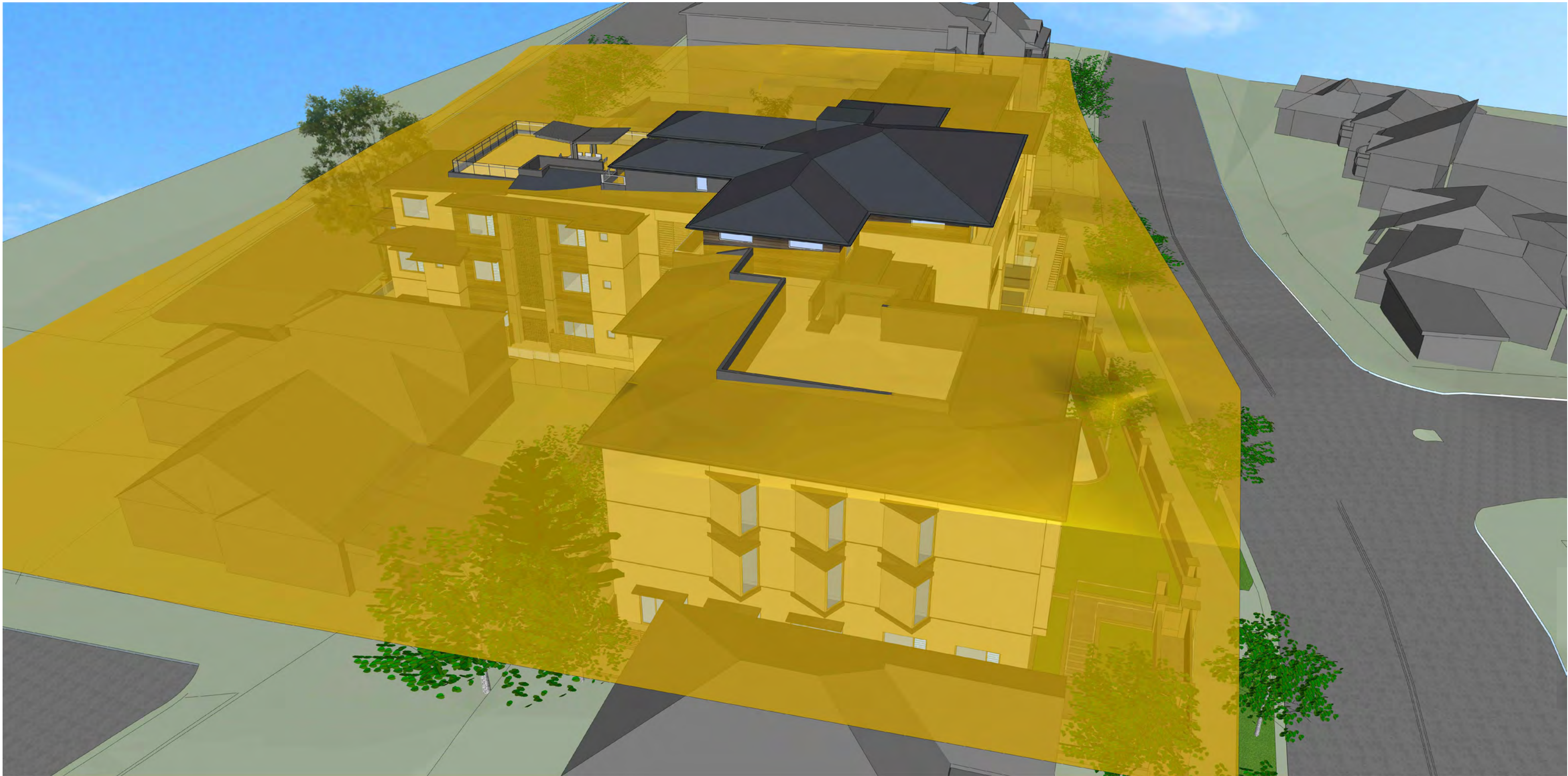
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SHADOW DIAGRAMS  
Existing & Proposed- 21June 4pm

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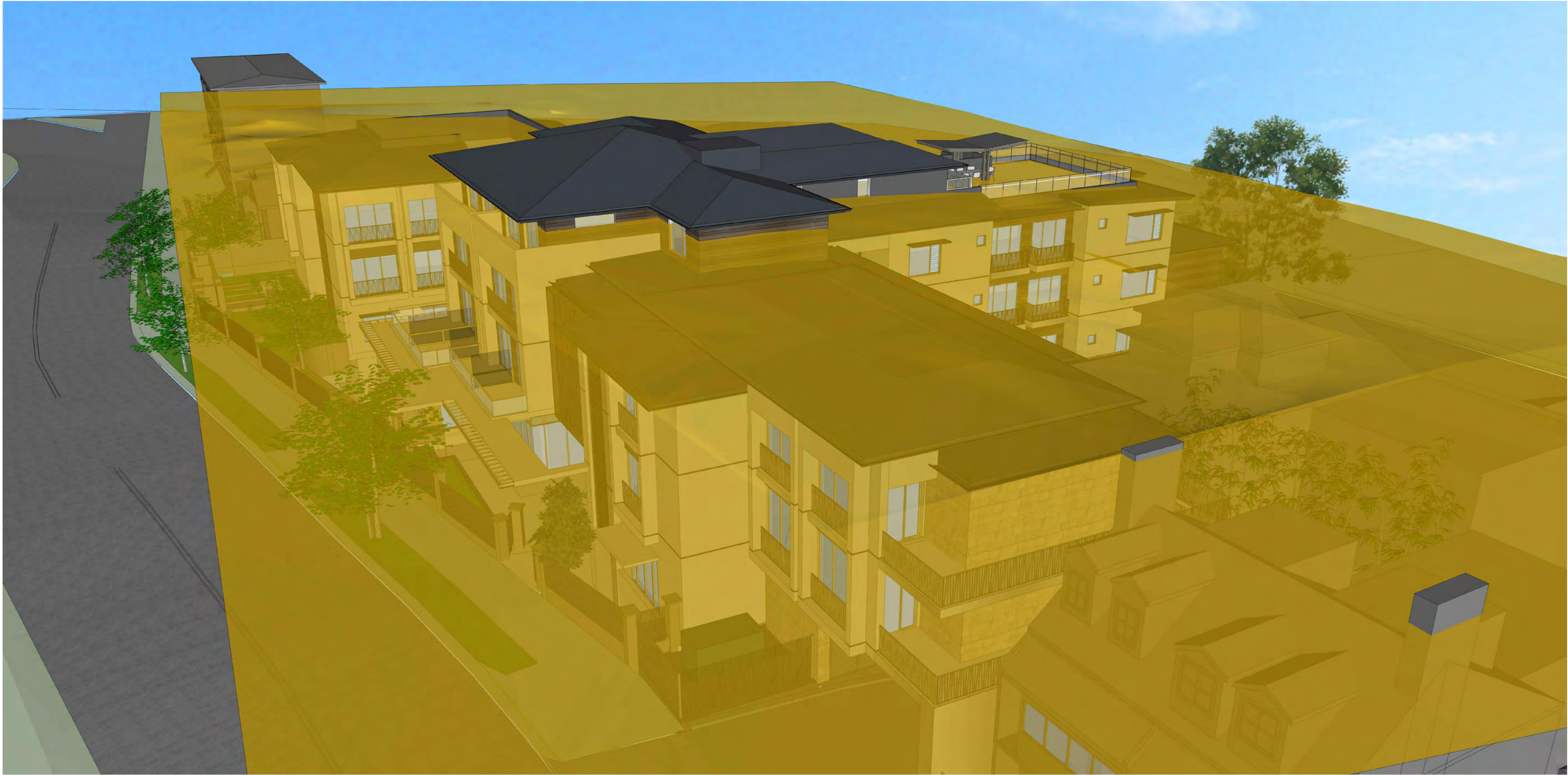
Date	JAN 2019	Job No.	Drawing
Scale	1:500		
Drawn	VI		
Amendment	4		

0m 5 10 25m 50m  
SCALE: 1: 500 @ A1  
SCALE: 1: 1000 @ A3





WEST - 3D IMAGE

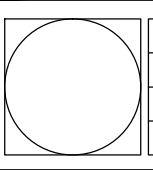


EAST - 3D IMAGE

The above graphics are showing the 3D model of the proposed development with the 12m height control represented by a yellow coloured plane. These images demonstrate the extent of built form that penetrates the height control



1	Preliminary DA Issue	30.09.2020
No.	Amendment	Date

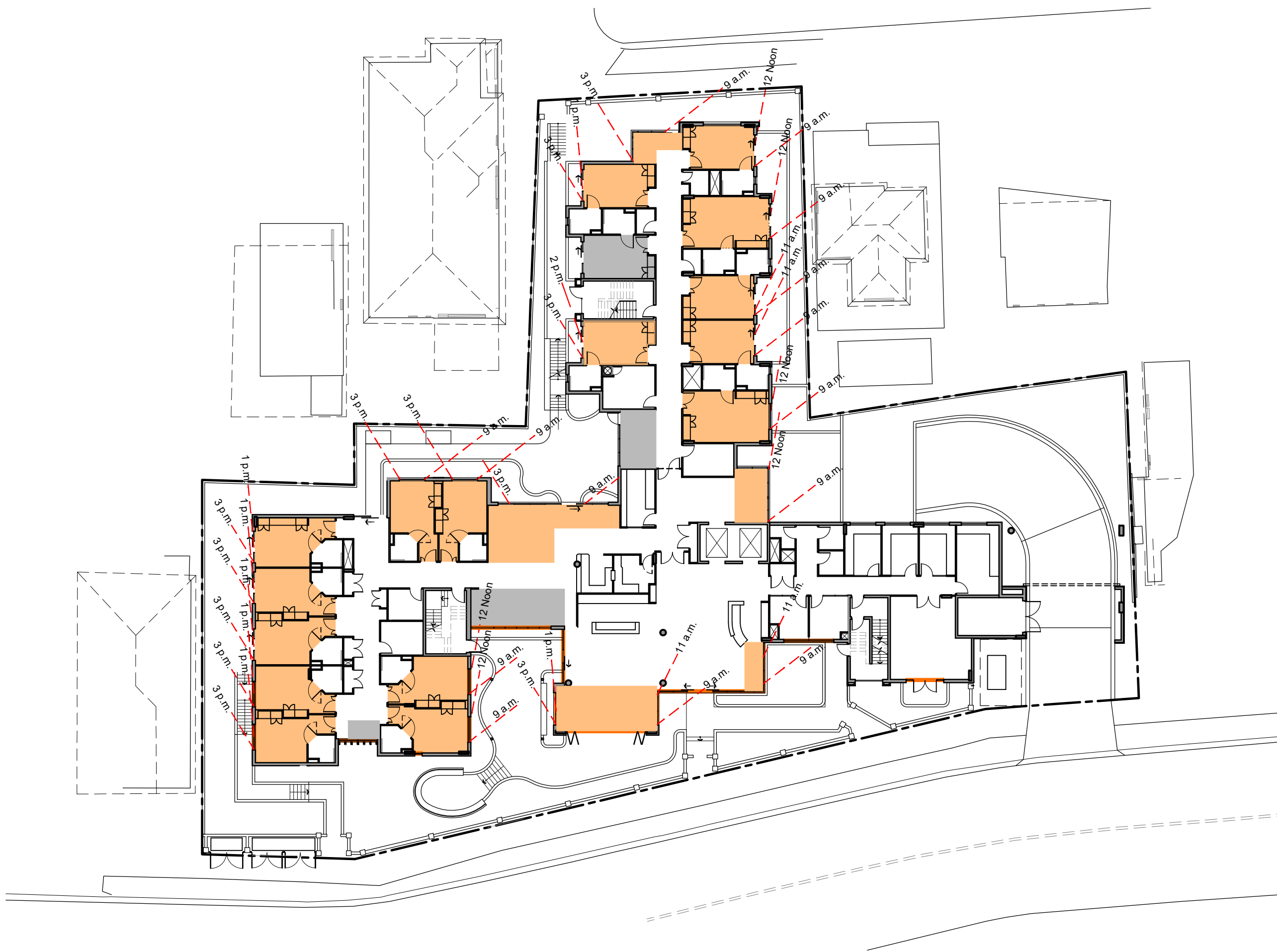
Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
3D IMAGE Showing  
built form penetrating 12m height

	Date	JAN 2019	Job No.	Drawing
	Scale	1:500		
	Drawn	SS	1912 /	DA18a
	Amendment	1		



LEGEND

	Rooms with SOLAR ACCESS between 9am to 3pm
	NO SOLAR ACCESS



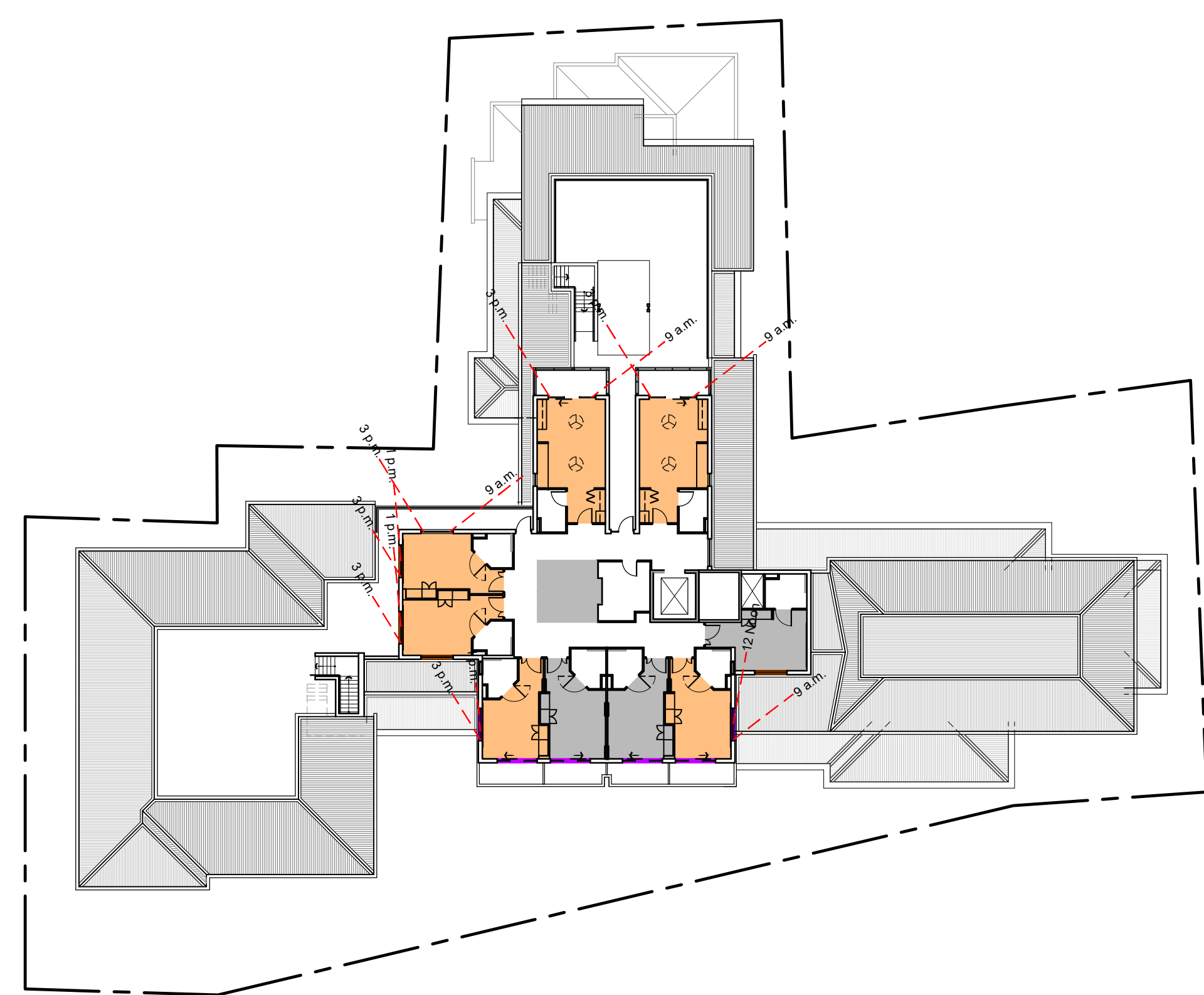
GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN

0m 2 5 10 20m  
SCALE: 1:300

3	Preliminary DA Issue	30.09.2020
2	Development Application Issue	07.09.2020
1	Preliminary Issue	14.08.2020
No.	Amendment	Date

Project  
FRENCHMANS LODGE  
11-15, 17 & 19 Frenchmans Road, RANDWICK  
Drawing  
SOLAR ACCESS DIAGRAM



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Date	AUG 2020	Job No.	Drawing
Scale	1:300 @ A1		
Drawn	AL		1912/ DA19
Amendment	3		






Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
GROUND FLOOR PLAN



	Date	JAN 2019	Job No. : Drawing  2017 / DA20
	Scale	AS SHOWN	
	Drawn	SS	
	Amendment	4	



GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020

No.	Amendment	Date
-----	-----------	------

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
FIRST FLOOR PLAN



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architecture, health and aged care planning, project management

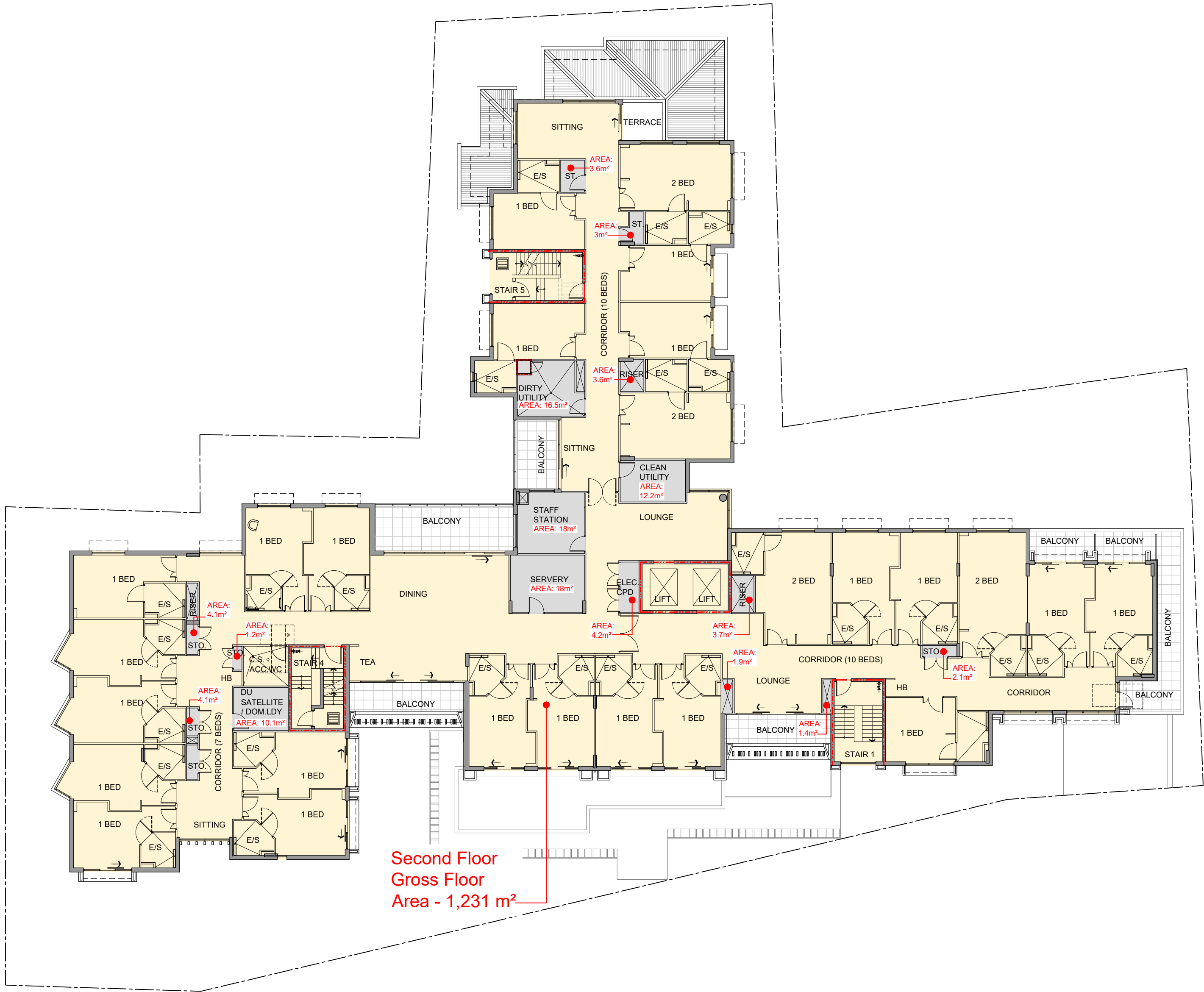
boffa robertson group  
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Cherrywood NSW 2067  
AUSTRALIA  
Tel: (02) 9406 7000  
Fax: (02) 9406 7009  
Email: brgroup@brgr.net

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS	2017 /	DA21
	Amendment	4		



GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



Second Floor  
Gross Floor  
Area - 1,231 m²

EXCLUDED AREA GFA : 107.6m²

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020

No.	Amendment	Date
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Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
SECOND FLOOR PLAN



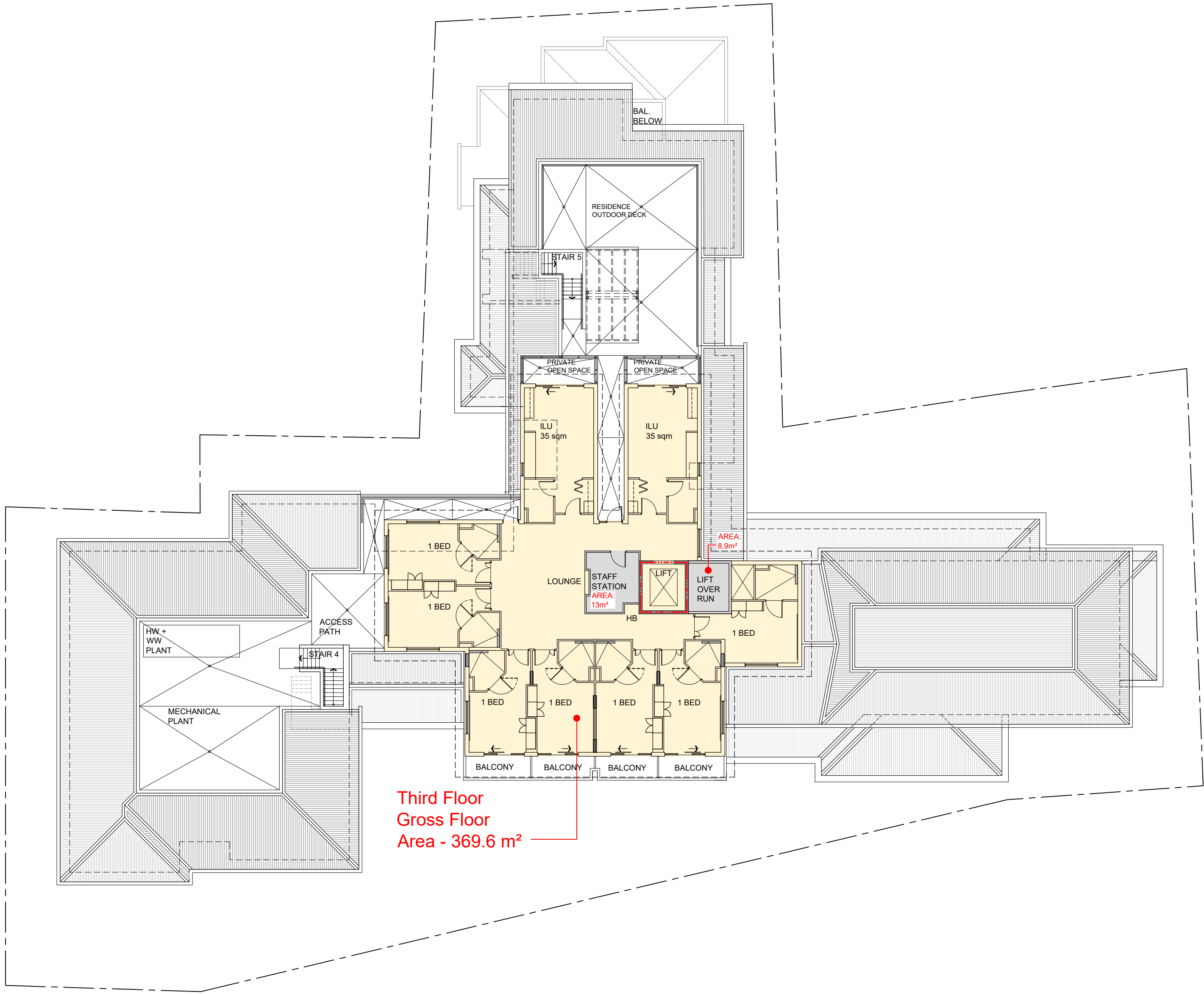
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**br**  
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Email: brgroup@brgr.net

0m 2 5 10 15m  
SCALE: 1:200 @ A1  
SCALE: 1:400 @ A3

Date	JAN 2019	Job No.	Drawing
Scale	AS SHOWN		
Drawn	SS		2017 / DA22
Amendment	4		



GROSS FLOOR AREA	
	SEPP 2004 GROSS FLOOR AREA (VERTICAL VILLAGE)
LOWER BASEMENT.FL.	-
BASEMENT.FL.	-
GROUND FL.	905.8 m²
FIRST FL.	1,278.9 m²
SECOND FL.	1,231.0 m²
THIRD FL.	369.6 m²
TOTAL	3,785.2 m²



EXCLUDED AREA GFA : 21.3 m²

4	Preliminary DA Issue	30.09.2020
3	Development Application Issue	07.09.2020
2	Development Application Issue for review	14.08.2020
1	Development Application Issue for review	11.08.2020
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

Drawing  
GROSS FLOOR AREA DIAGRAM -  
THIRD FLOOR PLAN



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**br**  
iag

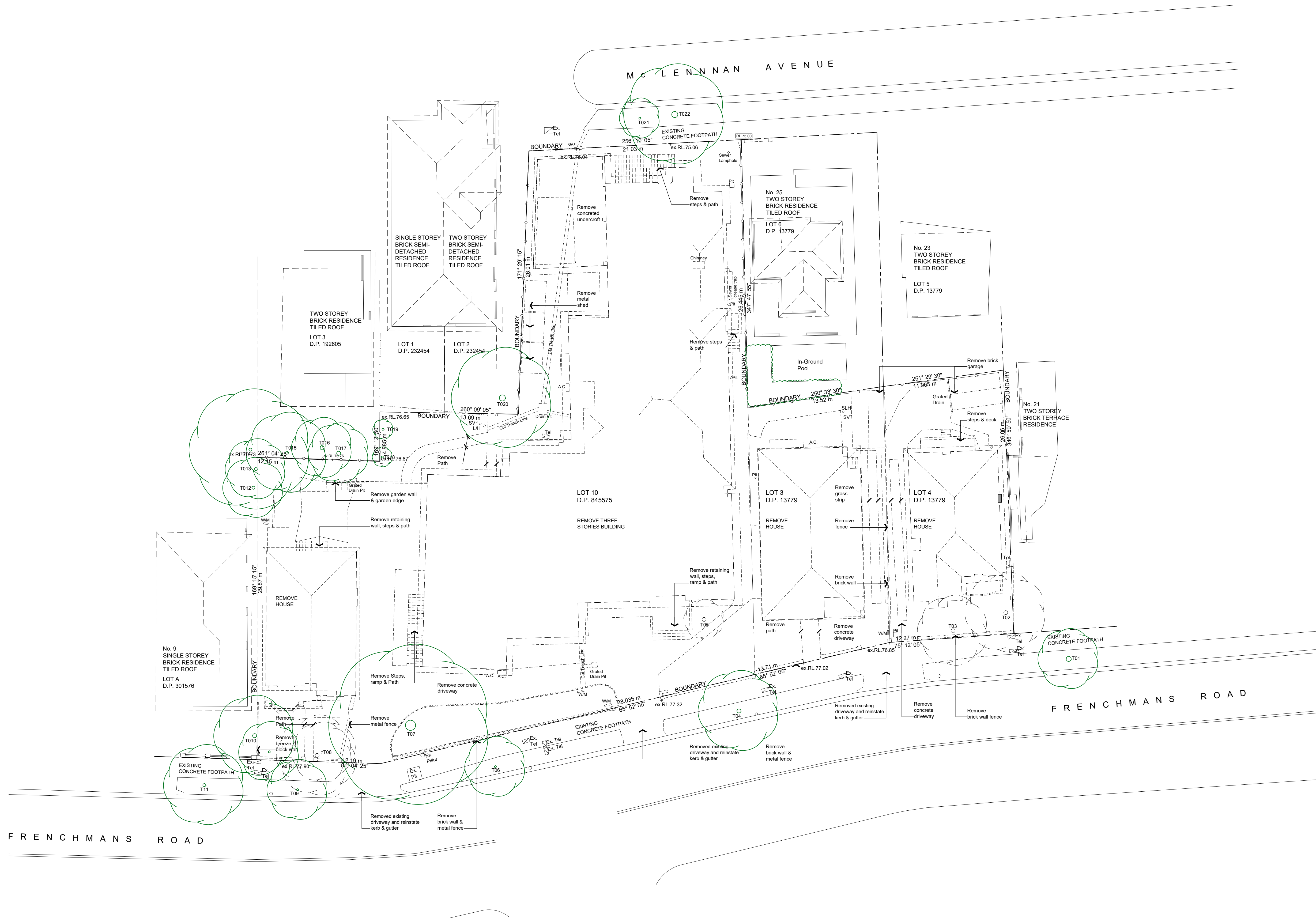
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Email: brgroup@brgr.net



	Date	JAN 2019	Job No.	Drawing
	Scale	AS SHOWN		
	Drawn	SS		2017 / DA23
	Amendment	4		



	BOUNDARY
	EXISTING WALLS, DOORS, WINDOWS, FENCE, RETAINING WALL, SANITARY'S, DRIVEWAY, PATH, PIT, SERVICES TO BE REMOVED
ADD 2' EXIST FENCE & DRIVE & DRIVEWAY & PATH	EXISTING FENCE TO BE RETAINED
	EXISTING TREES TO REMAIN
	TREES TO BE REMOVED
+ ex RL 0.0	EXISTING LEVELS
<span style="border: 1px solid black; padding: 2px;">RL.00.00</span>	PROPOSED LEVELS



5	Preliminary DA Issue	30.09.2023
4	Development Application Issue	07.09.2023
3	Development Application Issue for review	14.08.2023
2	Development Application Issue for review	11.08.2023
1	Development application issue	19.12.19
No.	Amendment	Date

Project  
SUMMIT CARE  
11-19 Frenchmans Road, Randwick

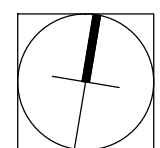
Drawing  
DEMOLITION PLAN



**boffa robertson group**  
architecture, health and aged care planning, project management

**br**  
1999

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Date	JAN 2019	Job No. : Drawing  1912 / DA24
Scale	AS SHOWN	
Drawn	SS	
Amendment	5	

